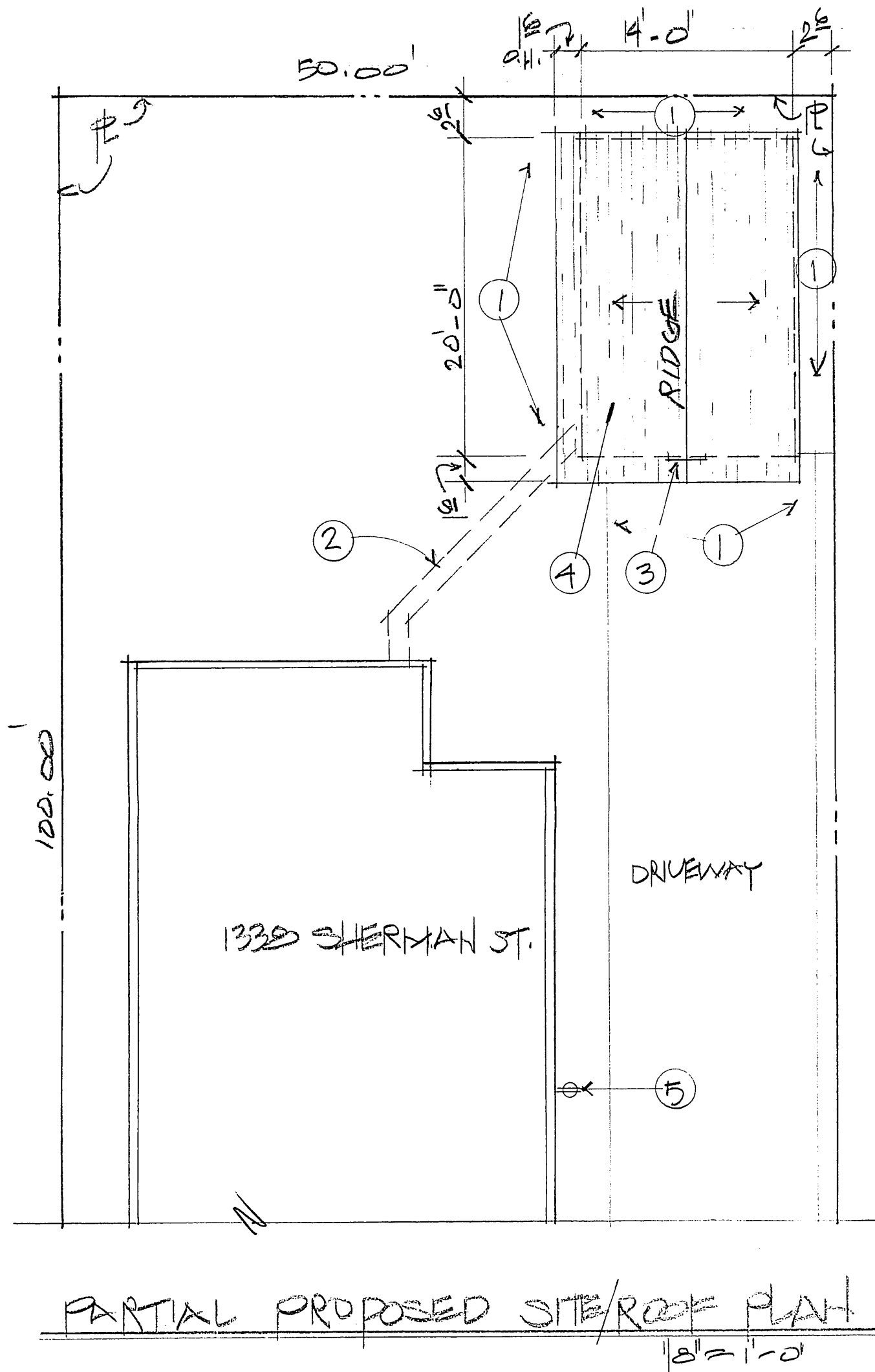


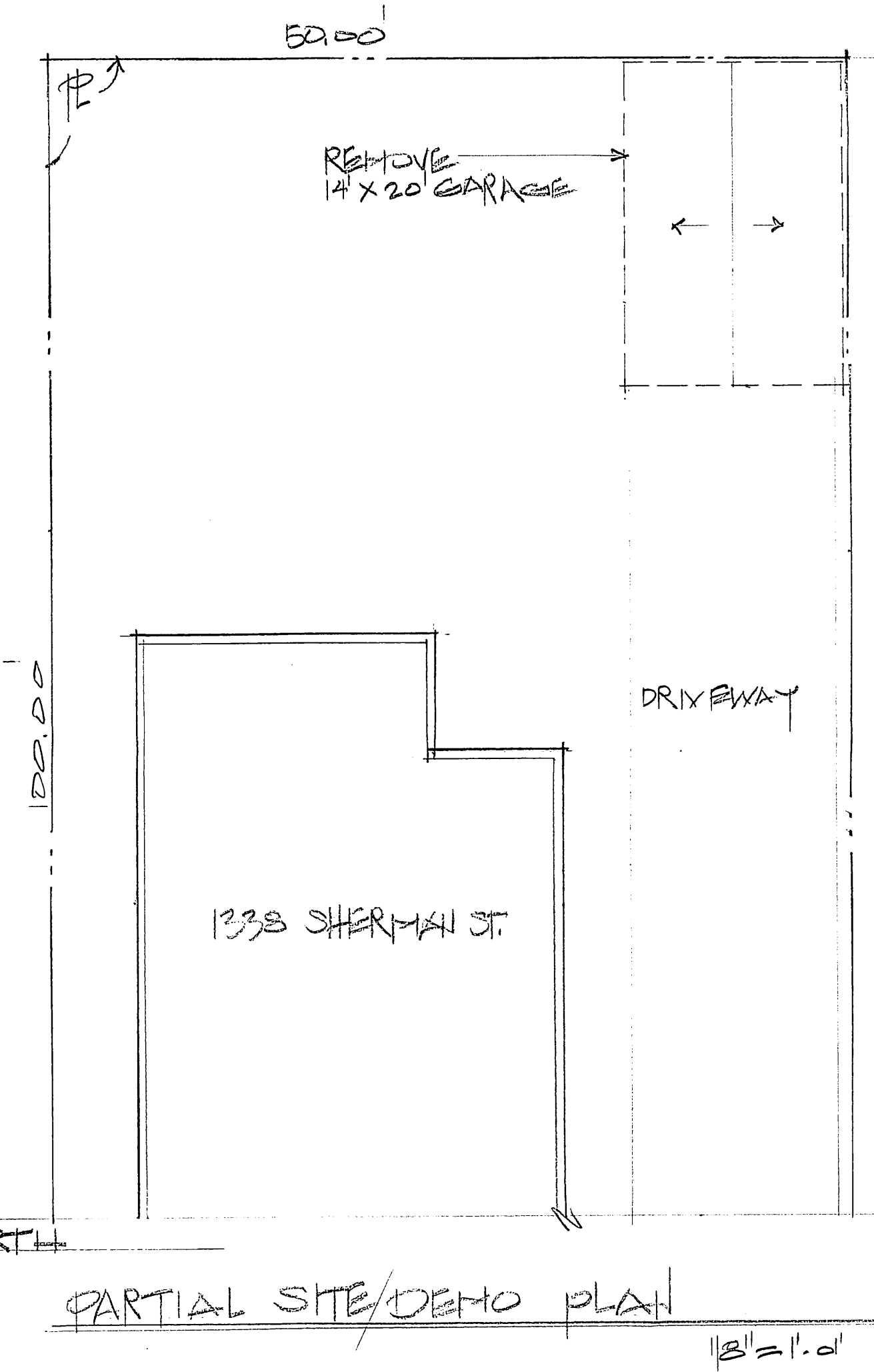
GENERAL NOTES:

- CONTRACTOR:** CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. ARCHITECT ASSUMES NO RESPONSIBILITY FOR EXISTING STRUCTURE.
- DIMENSIONS:** DO NOT SCALE DRAWINGS. IF CONFLICTS EXIST, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK. DIM. ARE TO F.O.S. U.O.N.
- SITE UTILITIES:** THE CONTRACTOR SHALL REVIEW & VERIFY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION AND/OR REPLACEMENT WITH REGARDS TO THE PROPOSED SCOPE OF WORK OR IF UPGRADES ARE REQUIRED TO MEET MINIMUM REQUIREMENTS PER CODE. VERIFY THAT EXISTING ELECTRICAL SERVICE, PANEL & SUB-PANELS, WATER LINE SIZE AND CONDITION & HVAC ARE ADEQUATE FOR THE SCOPE OF WORK.
- TEMPORARY BARRIERS:** PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK FROM DISTURBANCE, DUST, DIRT, DEBRIS OR OTHER DAMAGE.
- WARRANTIES:** ALL WORK PERFORMED SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTUR. PROVIDE OWNER WITH ALL PRODUCT WARRANTIES, USER MANUALS AT FINAL COMPLETION OF WORK.
- INSTALLATION:** CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT INSTALLATION.
- MEP SYSTEMS:** CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR AS REQUIRED FOR COMPLETE AND OPERATING MEP SYSTEMS.



SITE/ROOF PLAN KEY NOTES:

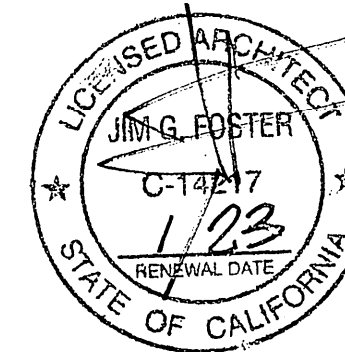
- EROSION PLAN:** DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE STRAW BALES OR SIMILAR TO PREVENT WATER FROM ENTERING BUILDING OR FROM LEAVING SITE. PROTECT EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION. AFTER CONSTRUCTION, SITE SHALL BE GRADED A MIN. 5% SLOPE AWAY FROM THE BUILDING AND TOWARDS LANDSCAPING.
- TRENCH:** PROVIDE NEW TRENCH FOR ELECTRICAL CONDUIT. SHINGLES O/2 LAYERS #15 ROOFING. FELT.
- REQUIRED VENTILATION:** ATTIC REQUIRES 1.8 SF OF VENTILATION. A 20" DIA. VENT SHALL BE LOCATED AT THE GABLE.
- ROOFING:** ASPHALT SHINGLES (CLASS 'A') OVER #15 ROOFING FELT.
- CHARGER:** PROVIDE ELECTRICAL VEHICLE CHARGER



PROJECT DATA:

- SCOPE OF WORK:**
  - DEMOLISH EXISTING GARAGE AND REPLACE WITH NEW GARAGE.
  - ADD E.V. CHARGER AT DRIVEWAY.
- GOVERNING CODES:** 2022 CBC, CRC, CFC, CGC, CEC, CencC AND ALL CITY ORDINANCES WHERE THIS PROJECT IS LOCATED.
- CONSTRUCTION TYPE:** VB
- OCCUPANCY:** U
- NUMBER OF STORIES:** 1
- SPRINKLERS:** NO
- BUILDING DATA:** REMOVE 280 SF GARAGE AND BUILD NEW 280 SF GARAGE.

JIM FOSTER ARCHITECT  
405 LAKELAND LN.  
ALAMEDA, CA 94602  
510.541.6555



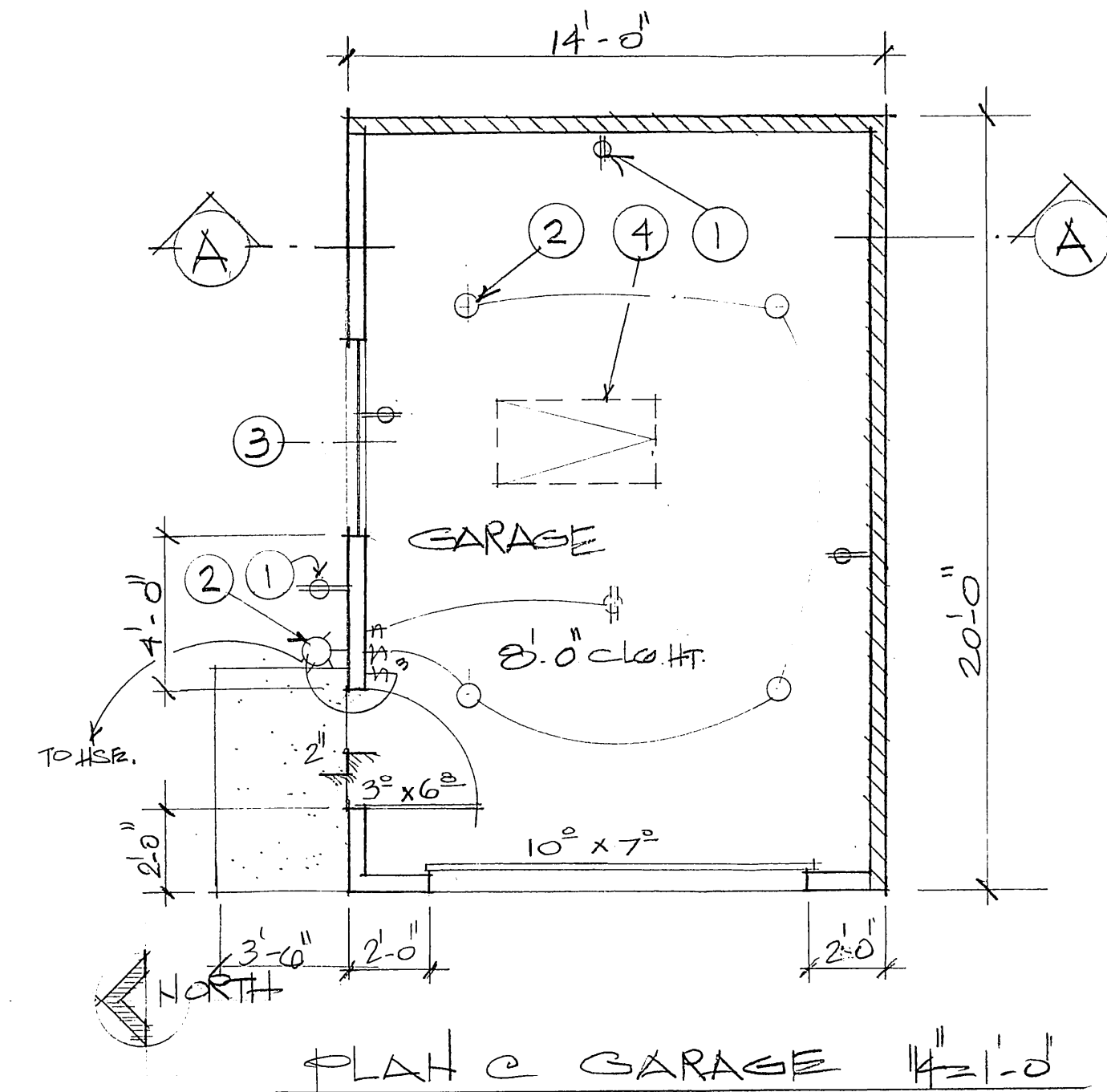
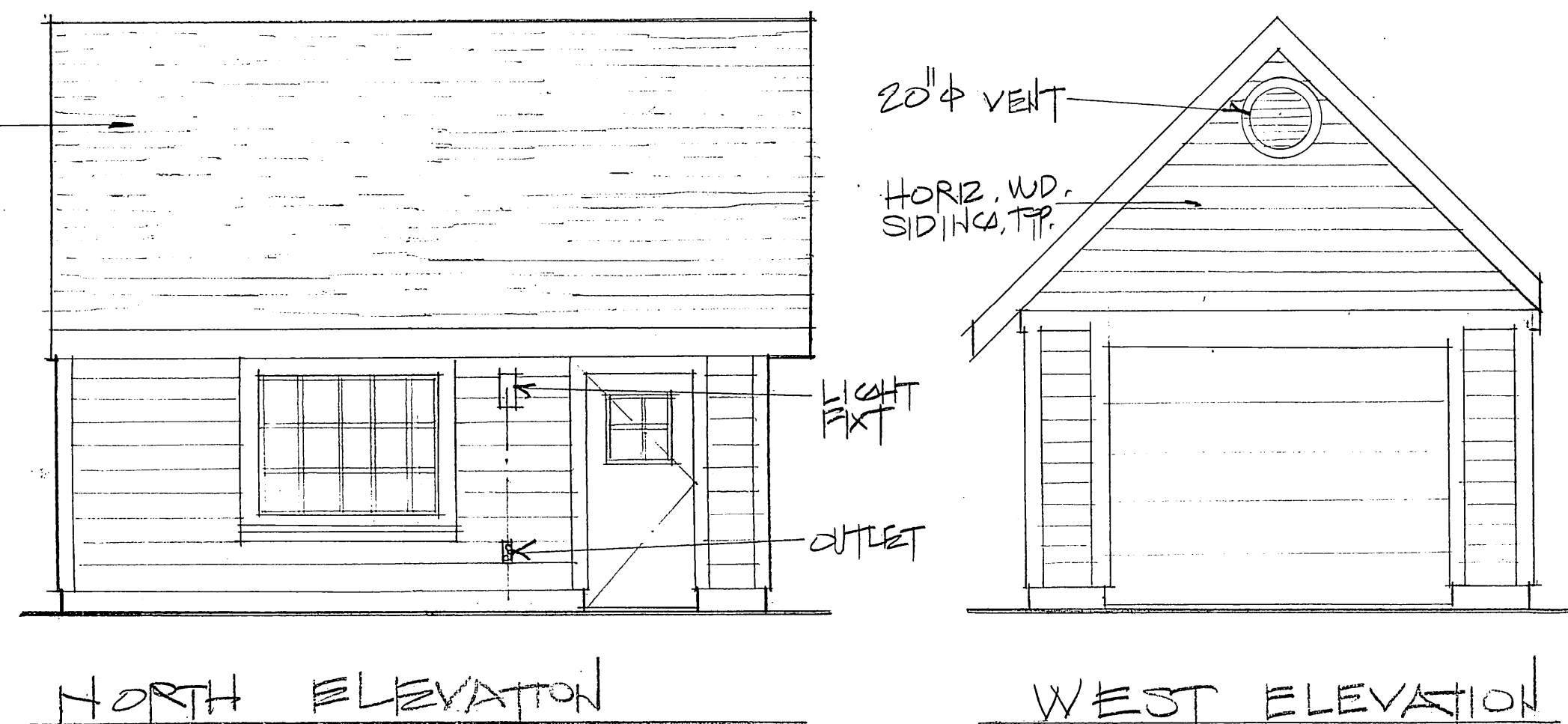
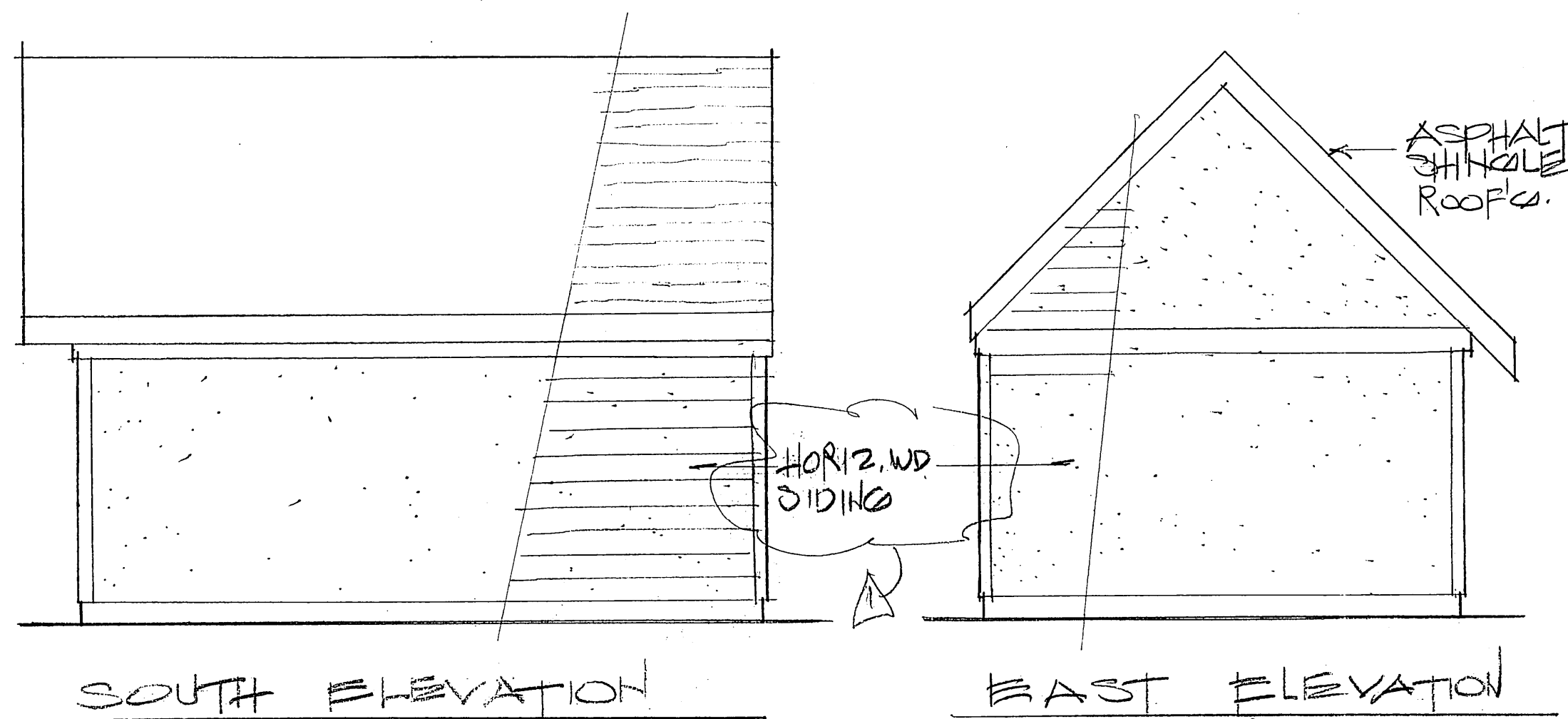
NEW GARAGE  
1338 SHERMAN ST.  
ALAMEDA, CA 94602

SHEET SCHEDULE:

- A1: SITE PLAN, PROJECT DATA  
A2: FLR., FND. & ROOF FRAM'G PLAN  
DETAILS, ELEVATIONS, SECTION  
SWP: STRONG WALL DETAILS.

10.28.23

A1



**LEGEND**

(H) 2x4 @ 16\"/>

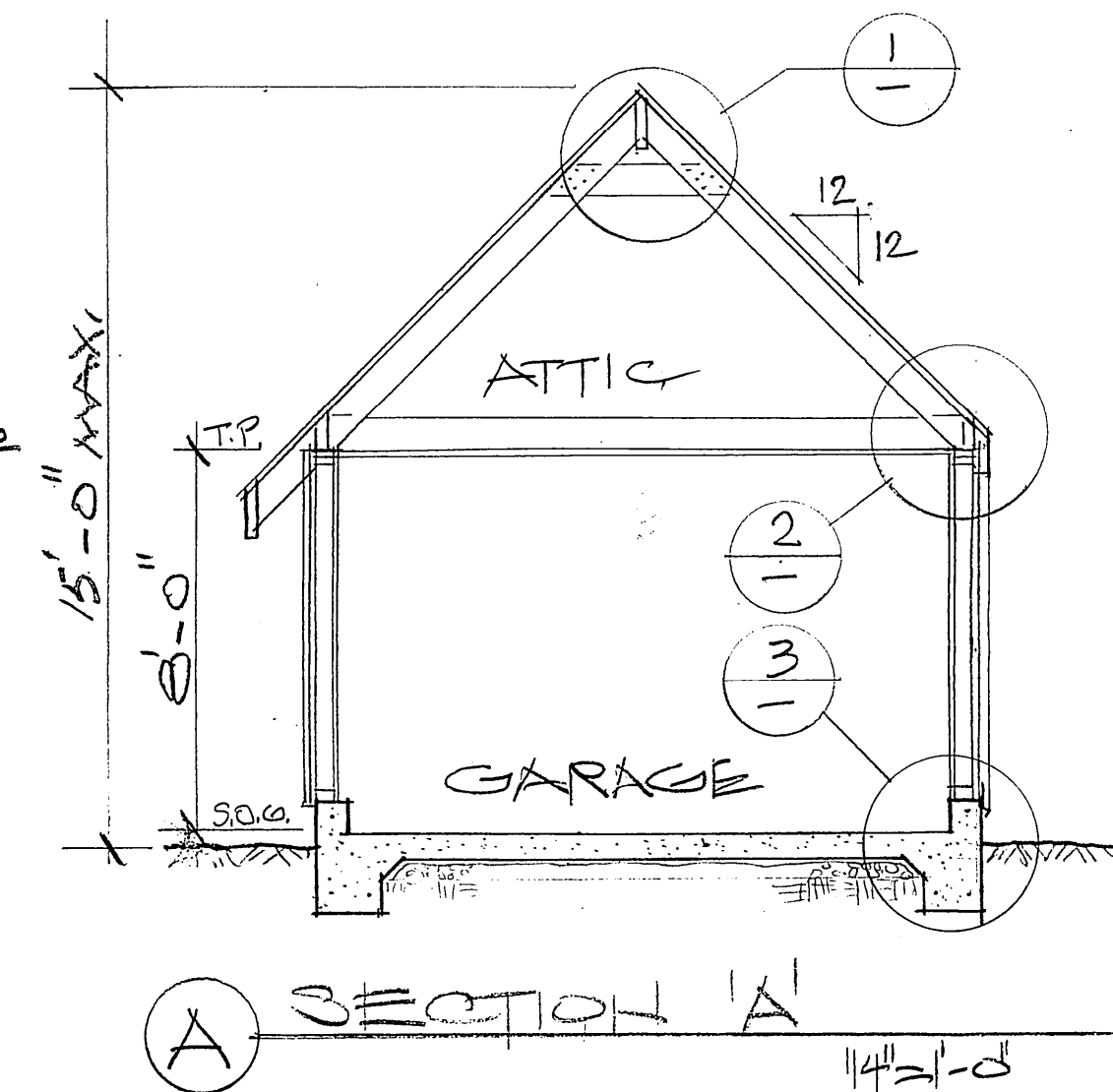
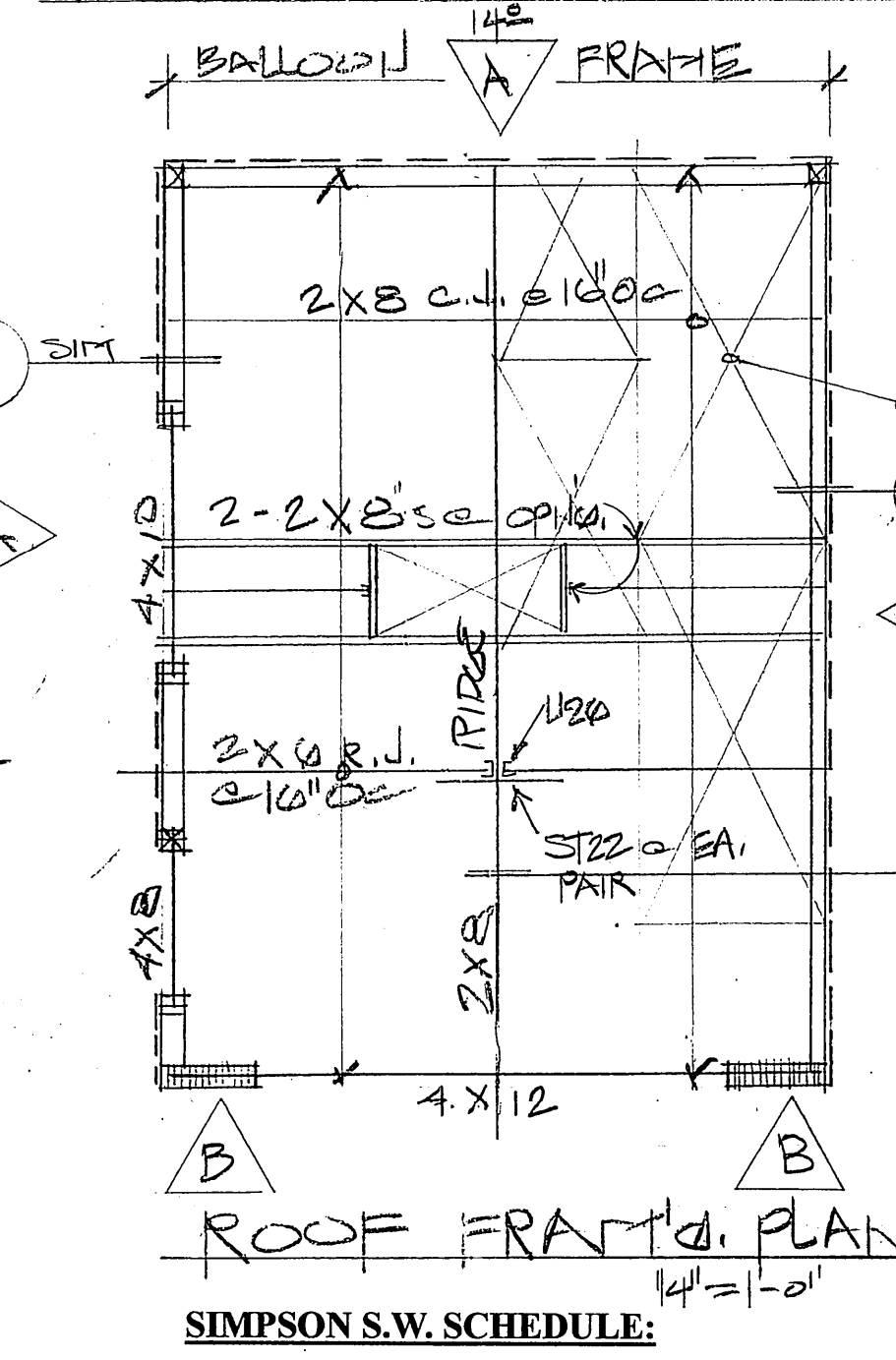
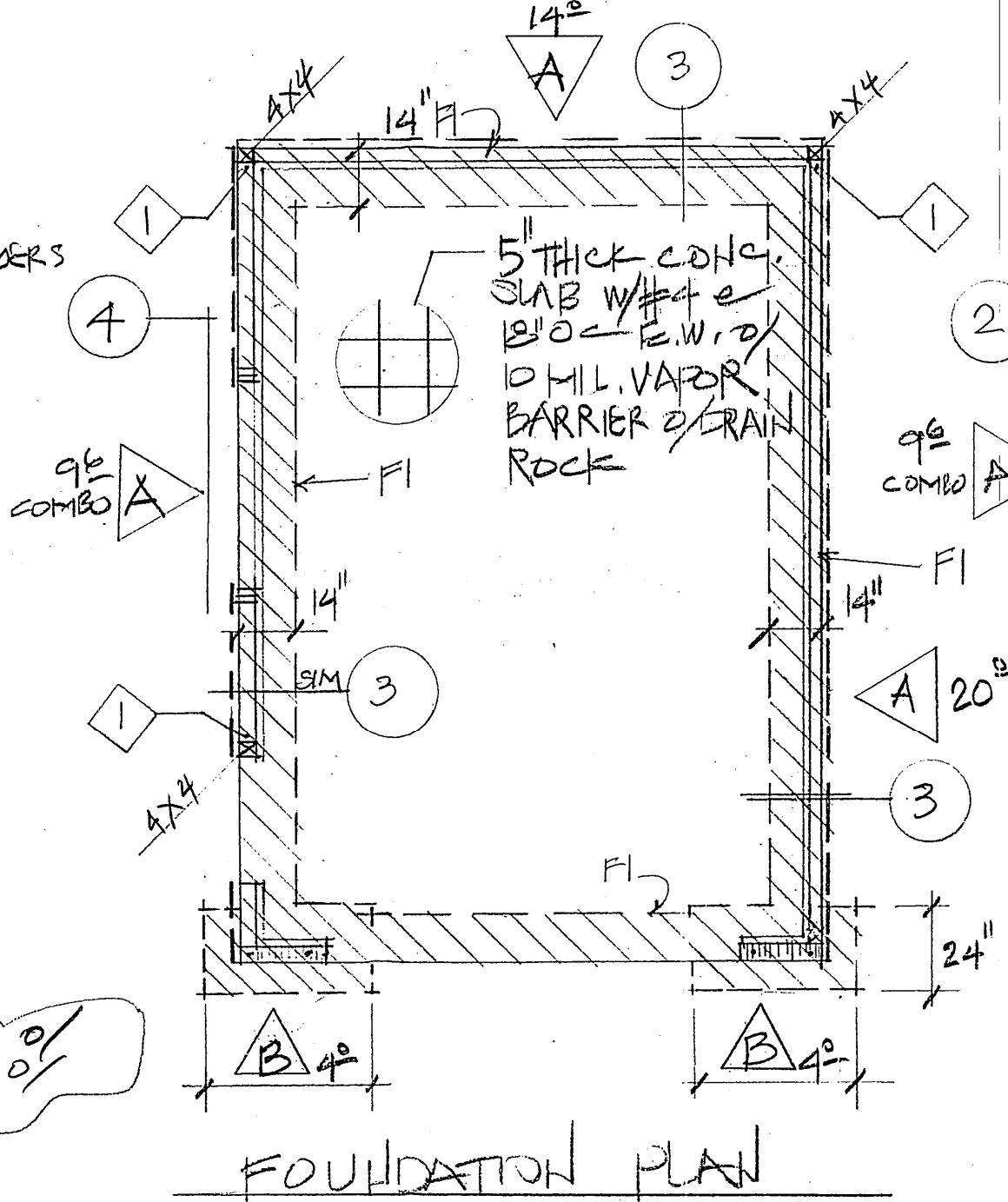
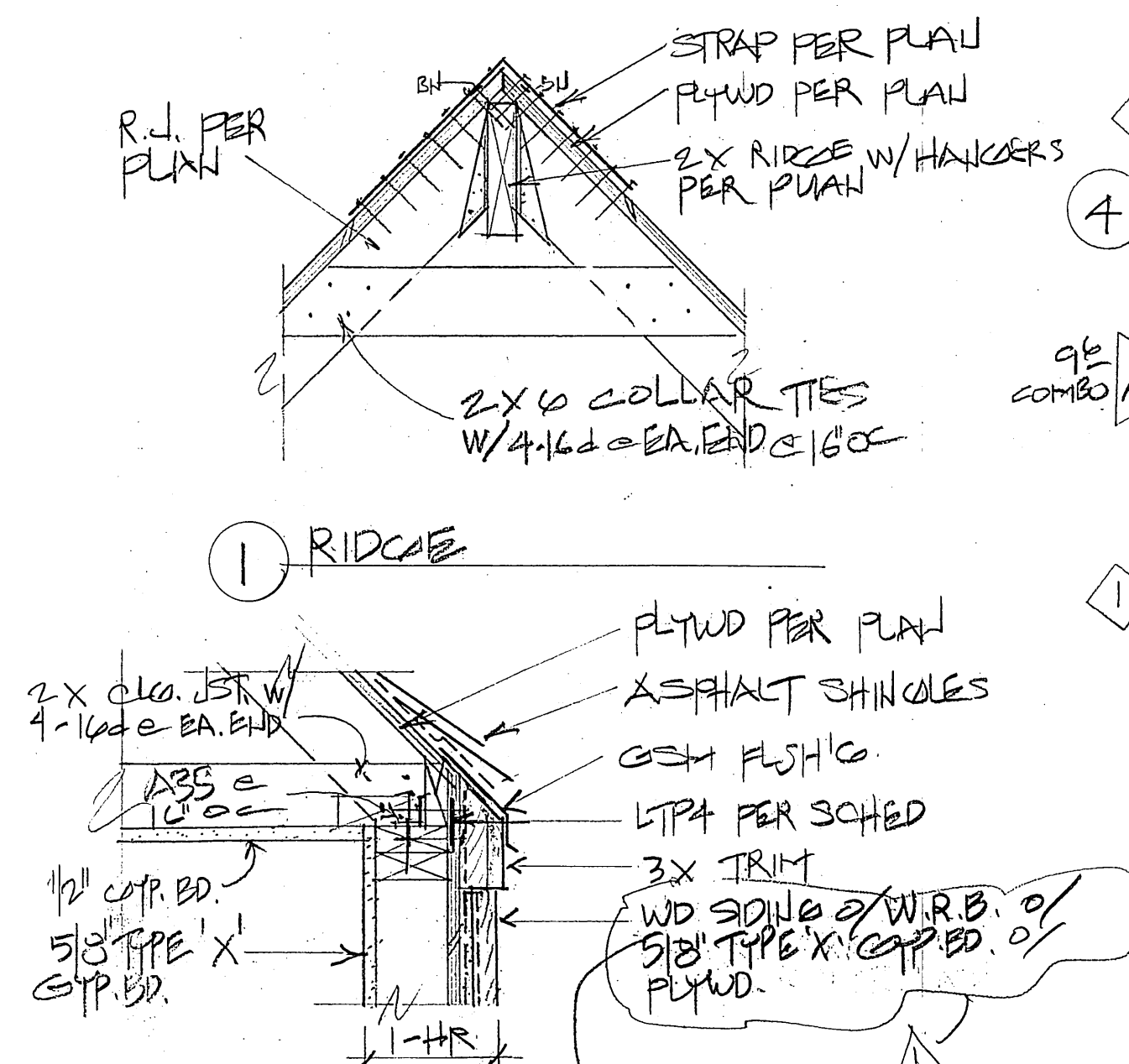
**KEY NOTES:**

1. **OUTLETS:** 125-VOLT, 15 & 20 AMP OUTLETS IN ANY RM SHALL BE TAMPER RESISTANT & PROTECTED BY AN ARC-FAULT CIRCUIT-INTERRUPTER. EXT OUTLETS SHALL BE GFI PROTECTED & BE PROVIDED W/ A WATERPROOF ENCLOSURE. PROVIDE 20 AMP CIRCUIT FOR EA BEDRM BEING ALTERED OR ADDED.

2. **LIGHTING:** (N) LIGHTING SHALL BE HIGH EFFICACY & CONTROLLED BY A VACANCY SENSOR SWITCH OR DIM CONTROL. RECESSED LIGHT FIXT SHALL BE IC-RATED & AIRTIGHT W/ NO SCREW BASED SOCKETS. EXT LIGHTG. ATTACHED TO BUILD'G SHALL BE HIGH EFFICACY & INCLUDE A MANUAL ON/OFF SWITCH AS WELL AS ONE OF THE FOLLOWING: PHOTOCONTROL & MONTION SENSOR, PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL OR, ENERGY MANAGENT CONTROL SYSTEM.

3. **WINDOW:** NEW 5'0\"/>

4. **ATTIC ACCESS:** PROVIDE 24\"/>



**BRACED WALLS PER CRC SECTION R602.10**

CS WSP: CONTINUOUSLY SHEATHED WD. STRUCT. PANELS & WSP: WOOD STRUCTURAL PANEL: 15/32\"/>

**ROOF DIAPHRAGM SCHEDULE:**

ROOF: MIN. 5/8\"/>

**FOUNDATION SCHEDULE:**

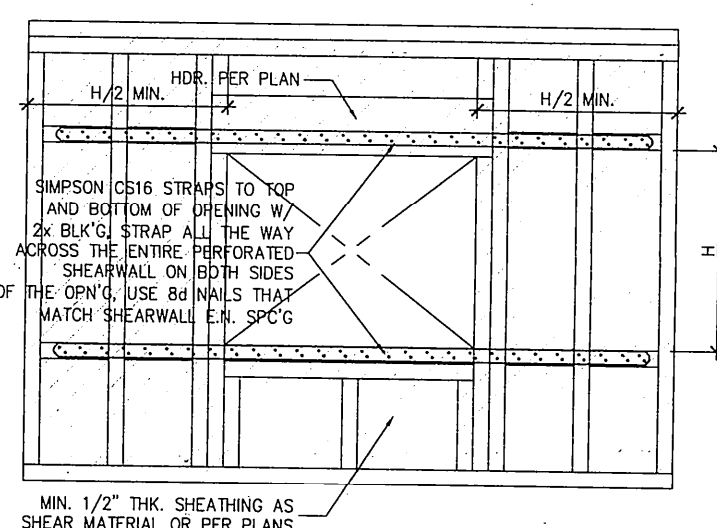
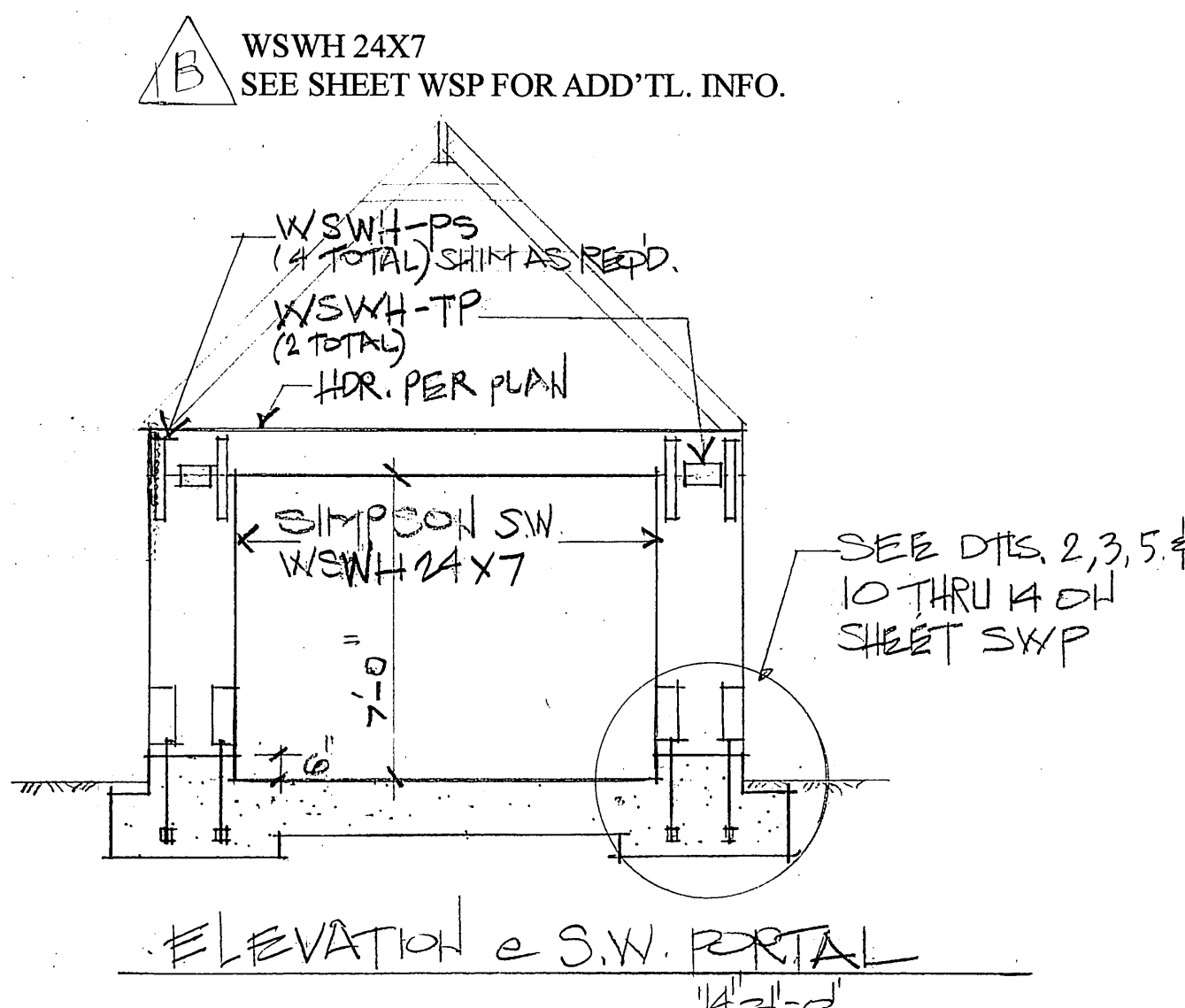
(N) 14\"/>

**HOLD DOWN SCHEDULE:**

1. HDU4-SDS2.5

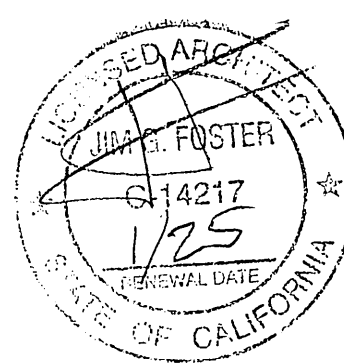
**MATERIAL SPECIFICATIONS:**

- A. **CONCRETE STRENGTH** @ 28 DAYS SHALL BE 2500 PSI MINIMUM.
- B. **WOOD FRAMING:**
- ALL SAWN LUMBER SHALL HAVE A MOISTURE CONTENT NOT TO EXCEED 19%.
  - PROVIDE THE FOLLOWING MINIMUM PROPERTIES FOR WOOD STRUCTURAL MEMBERS (DOUGLAS FIR - LARGE OR BETTER).
- | SIZE:                          | SPECIES: |
|--------------------------------|----------|
| 4x12 & SMALLER FRAMING MEMBERS | No. 2    |
| 4x4 POST                       | STANDARD |
| ALL OTHER POSTS AND TIMBERS    | No. 1    |
| ALL 2x JOISTS AND RAFTERS      | No. 2    |
| ALL 2x TOP PLATES AND SILLS    | STANDARD |
- ALL SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED D.F.
  - ALL BOLTS SHALL BE ASTM A-307.
  - FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- C. **REBAR GRADE OF STEEL:**
- ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS AND COMPLY WITH ACI 318, SECTION 3.5:
- |                   |          |
|-------------------|----------|
| #3 & SMALLER BARS | GRADE 40 |
| #4 & LARGER BARS  | GRADE 60 |



4. **OTRAPS & WINDOW**

JIM FOSTER, ARCHITECT  
405 LAGUNA BLVD  
ALAMEDA, CA 94502  
510.541.6359



1338 SHERMAN ST.  
ALAMEDA, CA 94501

2.10.24

10.31.23

A2