

SCOPE OF WORK

The project includes the scope of work detailed below:

(i). Remove existing non-ADA compliant entry gate and replace with relocated entry gate that conforms with Accessibility and Life Safety Codes.

FLOOR AREA, OCCUPANCY				
NET FLOOR AREA	E OCCUPANCY CLASSROOMS	B OCCUPANCY BUSINESS AREAS	S OCCUPANCY STORAGE/MECHANICAL	TOTALS
1 <sup>ST</sup> FLOOR	3,065 SF	522 SF	1,882 SF	5,469 SF
2 <sup>ND</sup> FLOOR	2,441 SF	1,489 SF	1,555 SF	5,485 SF
SUB-TOTAL GSF	5,506 SF	2,011 SF	3,437 SF	10,954 SF
OCCUPANCY CALCULATIONS Per CPC Table A	E OCCUPANCY 1 per 505F	B OCCUPANCY 1 per 200SF	S OCCUPANCY 1 per 5,000SF	OCCUPANCY TOTAL
DECIMAL CALCULATION	110.6	10.1	.7	
WHOLE NUMBERS	111	11	1	
MALES	56	6	1	63 MALES
FEMALES	56	6	1	63 FEMALES
	112	12	2	126 TOTAL

GENERAL NOTES

1. CODES: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE CALIFORNIA CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS.
2. EXISTING CONDITIONS AND DIMENSIONS: CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON SITE. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF FINISH OR CONCRETE WALLS, UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUBPLATE UNLESS OTHERWISE NOTED.
3. PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.
4. DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS.
5. CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, AND SHALL MAINTAIN THE SHORING AND BRACING UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.
6. INSTALLATION: ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE ARCHITECTS.

DRAWING INDEX

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- 6 PROPOSED ENTRY PLAN & ELEVATION

DIRECTORY

CLIENT

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Alameda, CA 94501

Phone: (510) 522-6012  
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ARCHITECT

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PLAN CHECK SUMMARY

PARCEL NUMBER: 71-265-3-1

CODES: 2022 California Building, Energy, Electrical, Plumbing, and Mechanical Codes

ZONING: R-5, General Residential

OCCUPANCY: E / B  
Overall - Area of work is exterior only.

TYPE OF CONSTRUCTION: Type II-B, not sprinklered  
No square footage added as a part of this project

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PROPERTY OWNER/LANDLORD:  
FIRST CONGREGATIONAL  
CHURCH OF ALAMEDA  
1912 CENTRAL AVE  
ALAMEDA, CA 94501  
(510) 522-6012

PHILLIPS ACADEMY - ENTRY RENOVATIONS  
1910 CENTRAL AVENUE, ALAMEDA CA 94501

COVER SHEET

BY:	
DESIGN REVIEW SET	ID 6/29/23
DESIGN REVIEW SET - REV.	FH_4/6/24
DATE: 4/6/2024	
SCALE: As Shown	

PROPERTY OWNER/LANDLORD:  
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## SITE INFORMATION

DESIGN REVIEW SET	ID 6/29/23
DESIGN REVIEW SET - REV	EH 4/6/24

SCALE: As Shown

2





NORTH ELEVATIONS-ENTRY DETAIL



BREEZEWAY DETAIL- LOOKING SOUTH

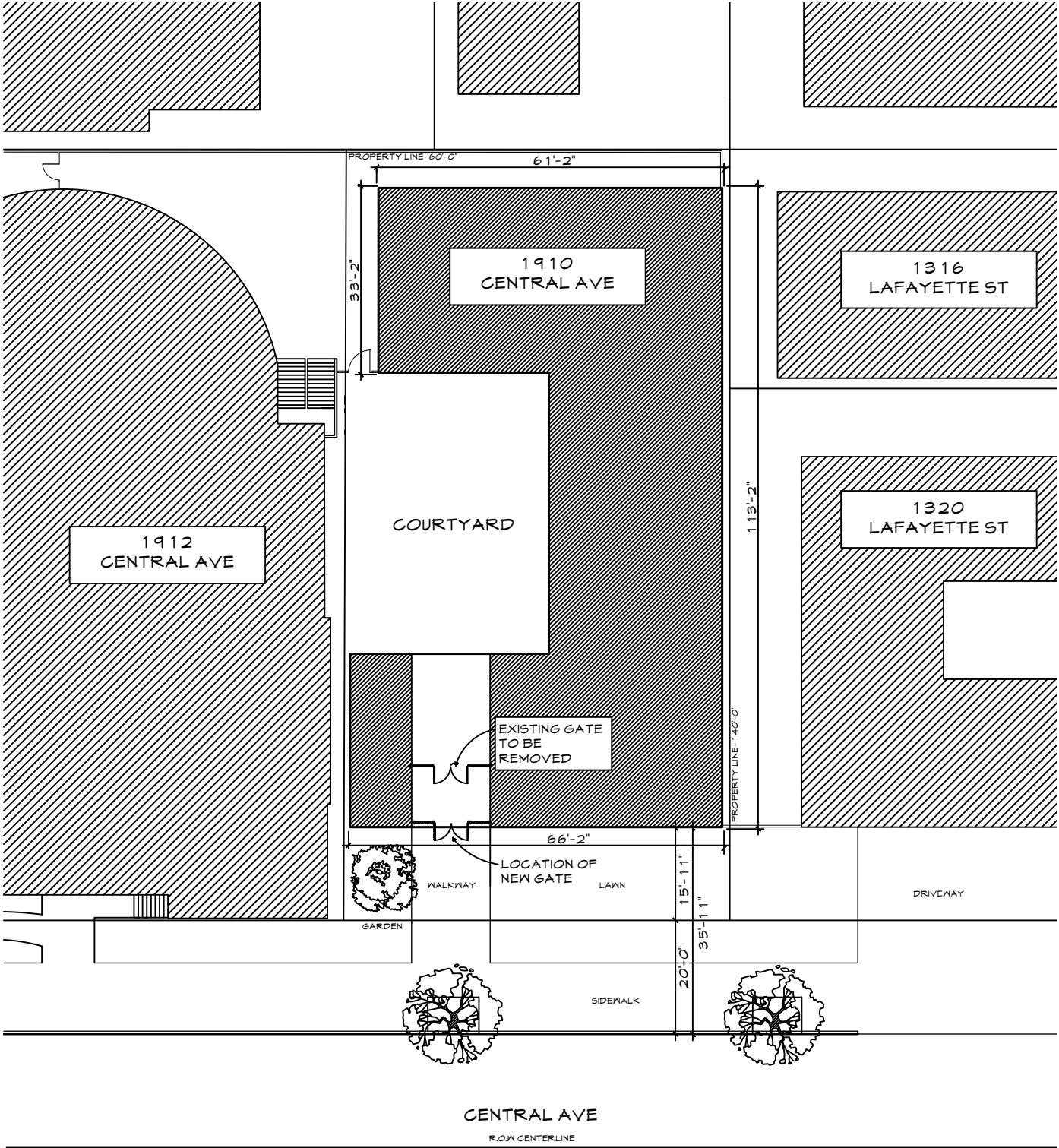
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EXISTING CONDITIONS

BY:	
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DESIGN REVIEW SET - REV	EH 4/6/24
DATE: 4/6/24	
SCALE: As Shown	



EXISTING & PROPOSED SITE PLAN



ERIC HARTZ, AIA  
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SITE PLAN

BY:	
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DATE: 4/6/24	
SCALE: As Shown	

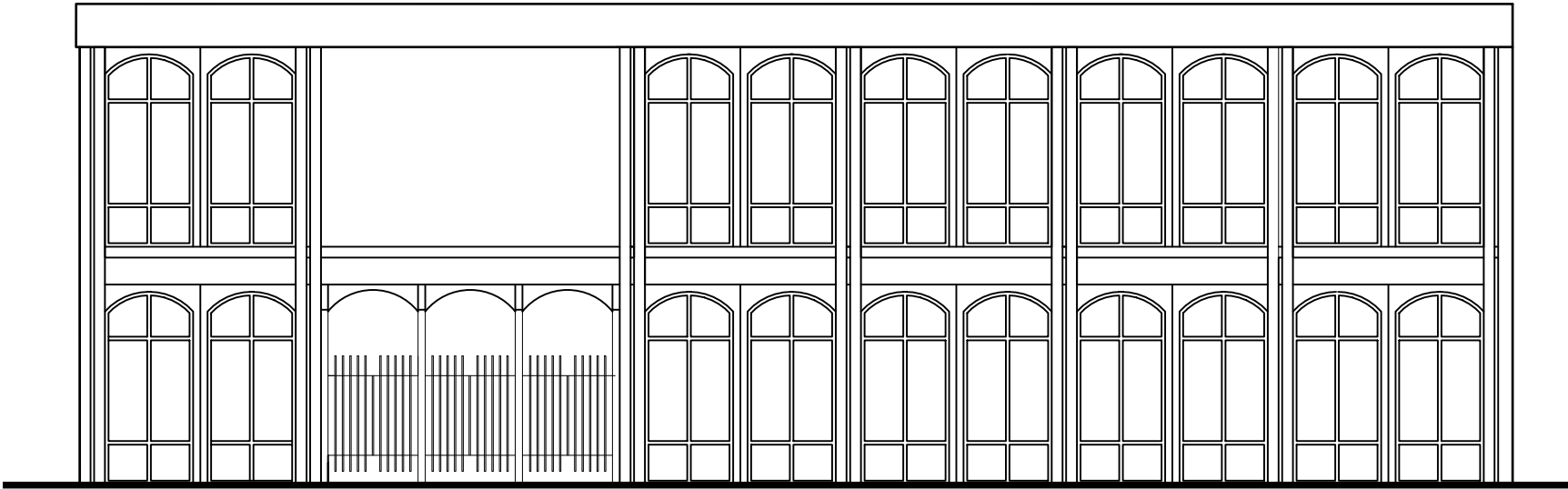


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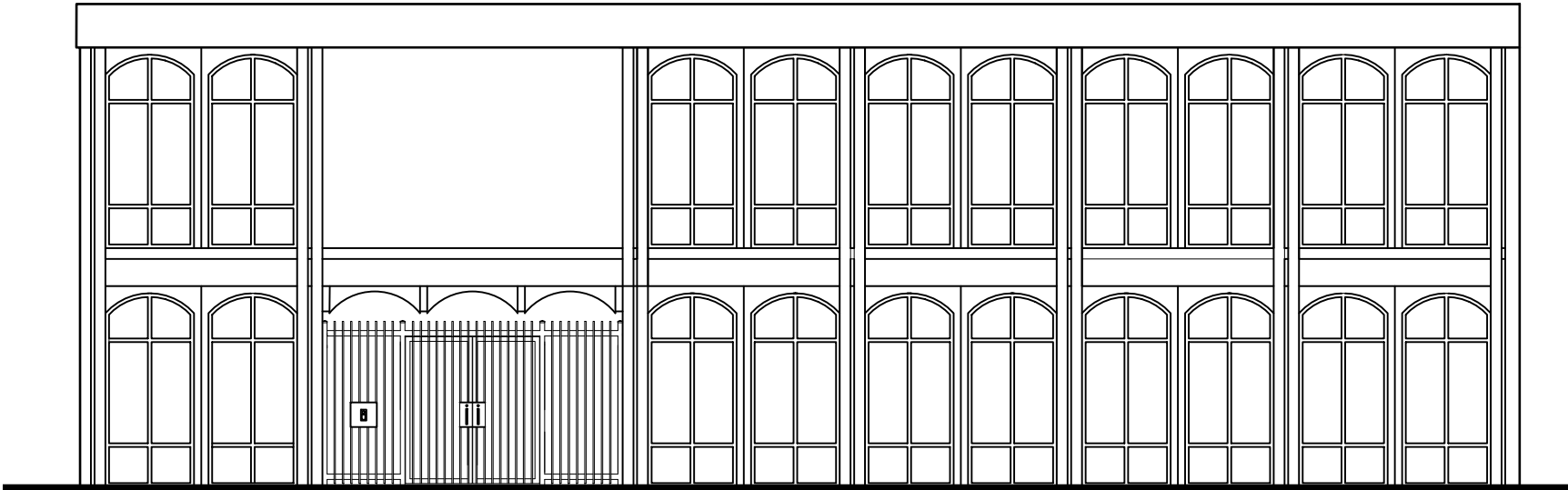
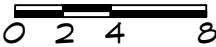
ELEVATIONS

BY:	
DESIGN REVIEW SET	ID 6/29/23
DESIGN REVIEW SET - REV	EH 4/6/24

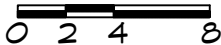
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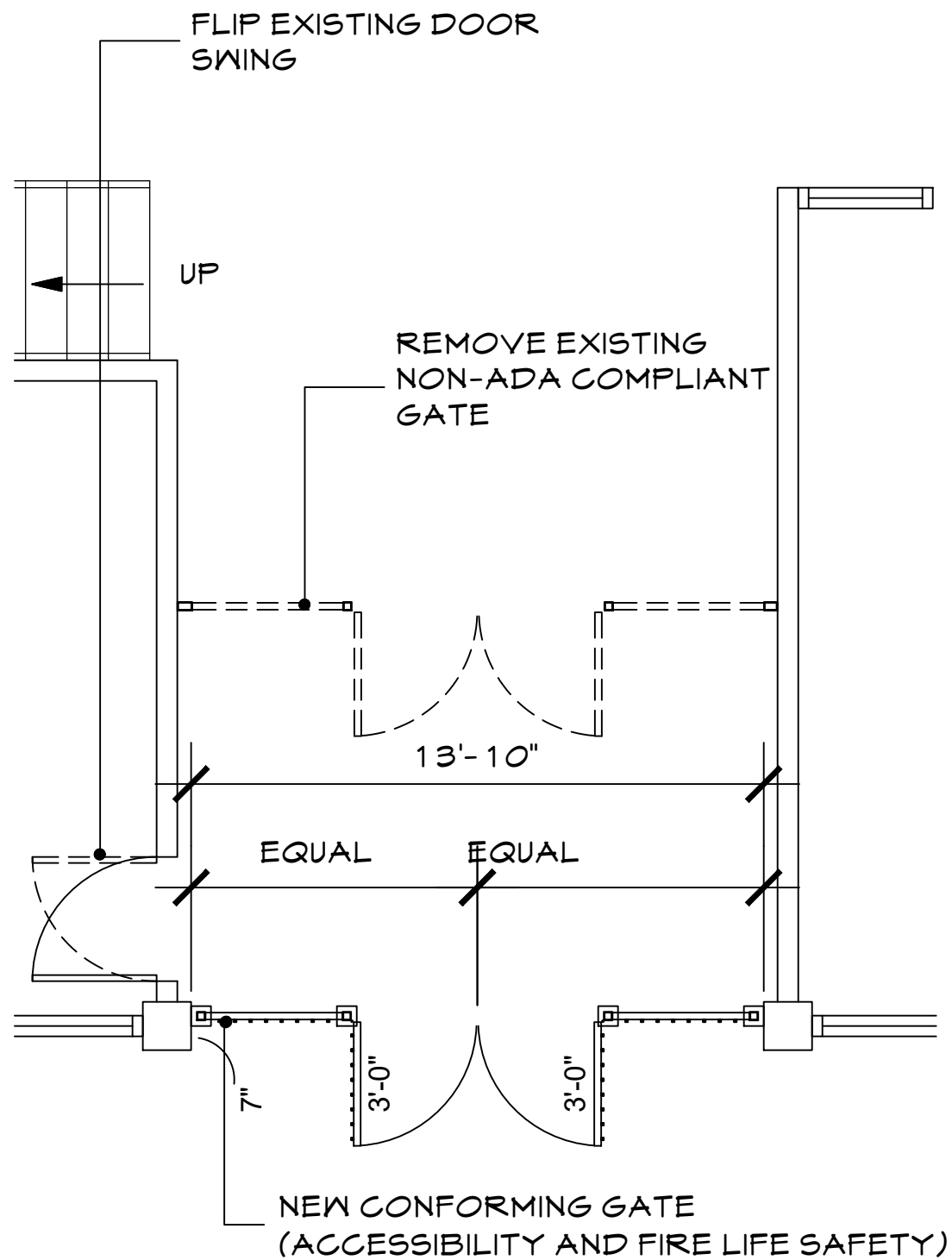


EXISTING NORTH ELEVATION

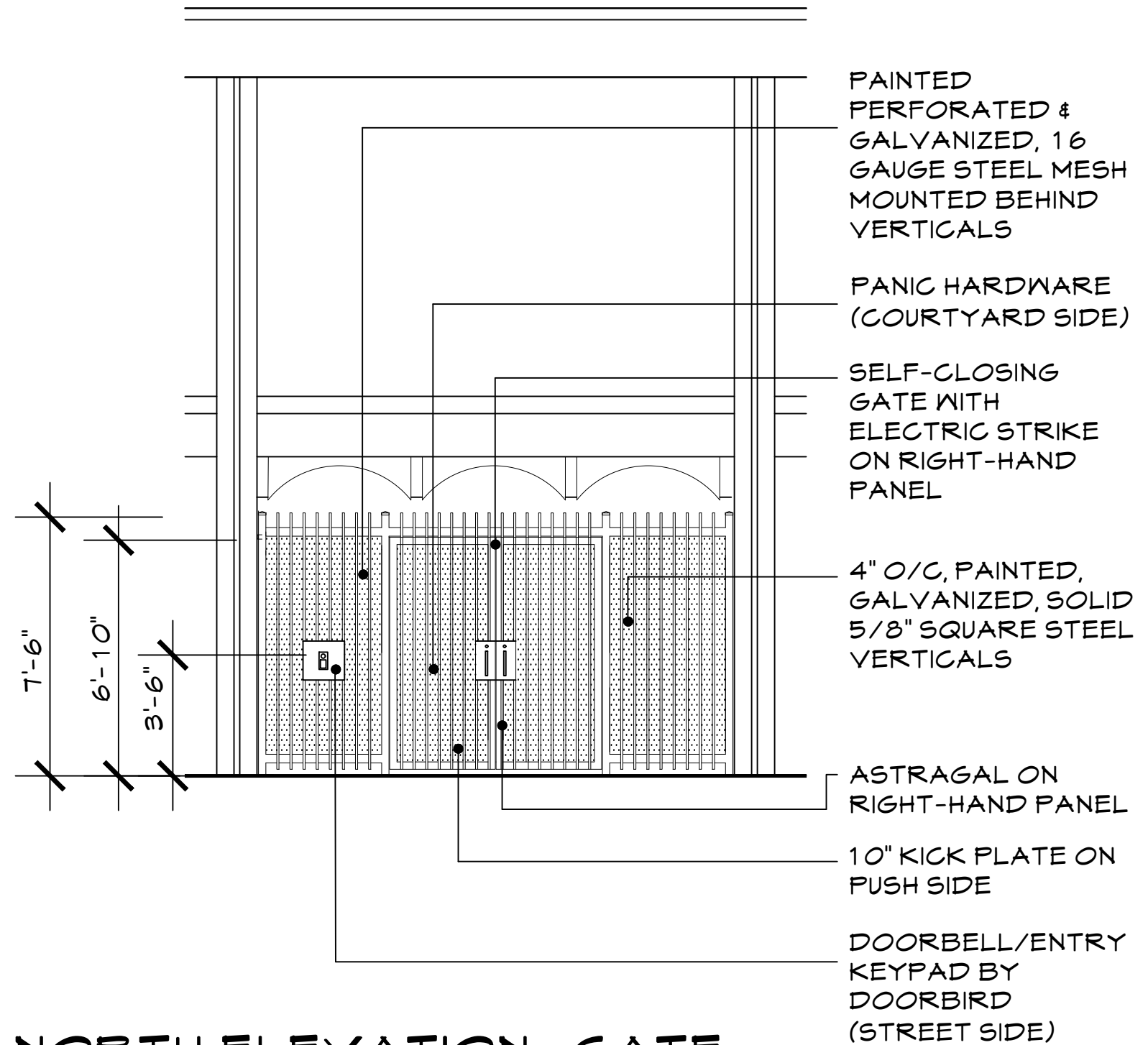


PROPOSED NORTH ELEVATION





PLAN OF GATE AREA



NORTH ELEVATION- GATE