

SATELLITE MAP - No Scale



SCOPE OF WORK

New / Proposed Work:

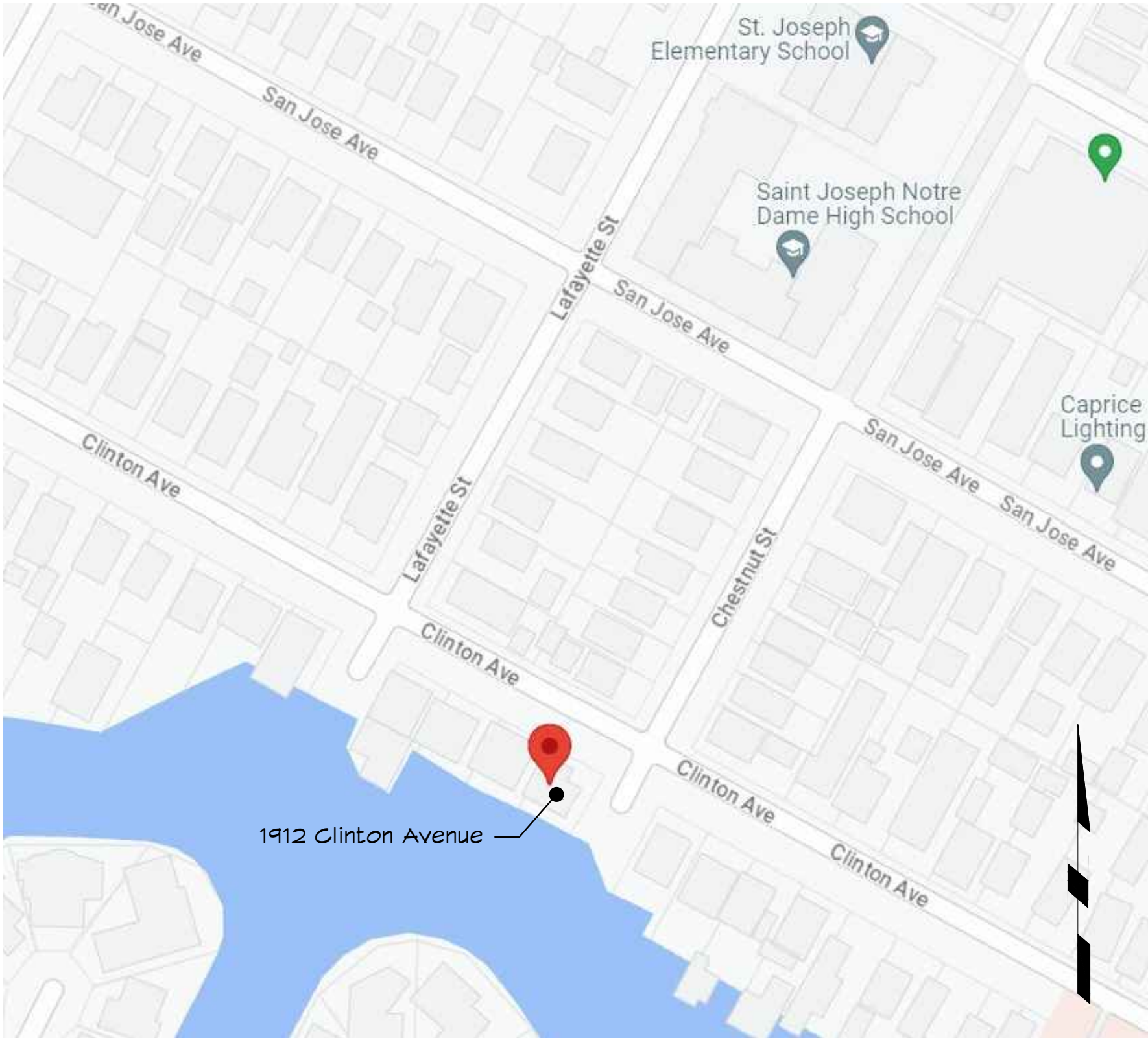
- The current property is an existing 2-unit multi-family residence. Per the City of Alameda permit history: Bldg. Permit # 897-O122, dated 1/30/1997, states "2 Units per City (Prequalif. Amnesty)"
- Create two new ADUs: a 1-bedroom and a 2-bedroom at the existing non-habitable basement level of the building. In order to attain adequate, code compliant ceiling height in these units, we propose raising the entire building (2'-6") above the existing grade.
- As part of this work, all existing exterior stairs will be modified with extra treads and risers in order to reach the upper floors, which will be (2'-6") higher above grade.
- Miscellaneous proposed site modifications include:
  - Adding a new metal gate at the Chestnut St. side of the property.
  - Modifying the existing planter at the driveway side of the property to allow for a continuous concrete walkway from the sidewalk along the entire length of the driveway.
  - Replace the existing metal posts & glass guardrail at the rear of the property w/ new metal posts & metal pickets guardrail.
- Proposed address numbering to be as follows:
  - 1st Floor Unit #1: 1912 Clinton Avenue
  - 2nd Floor Unit #2: 1912B Clinton Avenue
  - ADU #1: 1914 Clinton Avenue
  - ADU #2: 1916 Clinton Avenue

- Existing architectural features and finishes to remain unless otherwise noted.

PROJECT INFORMATION

- APN: 074-1295-073
- Block: 18 Lot: 73
- The property is located in the R-4 District
- Use Code: 2800 - Residential Property of 2,3 or 4 Units w/ Rooming House
- Parcel/Lot Area: 7,425 s.f.
- Construction Type: Type V-B (wood frame)

VICINITY MAP - NO SCALE



DRAWING LIST

Architectural

- C1.0 Cover Sheet: Project Info., Scope of Work, Vicinity Map, Satellite Map, Drawing List, Applicable Codes
- A1.0 Existing Site Plan
- A1.1 Proposed Site Plan
- A2.0 Existing & Proposed Basement Floor Plans
- A2.1 Existing 1st & 2nd Floor Plans
- A2.2 Existing Roof Plan
- A2.3 Window & Door Schedule & Details
- A3.0 Existing & Proposed Front Exterior Elevations
- A3.1 Existing & Proposed Chestnut St. Exterior Elevations
- A3.2 Existing & Proposed Rear Exterior Elevations
- A3.3 Existing & Proposed Driveway Exterior Elevations

PROJECT TEAM

Owners:

Duy Nguyen and Hai Pham  
1912 Clinton Avenue  
Alameda, CA 94501  
Tel: (510) 409-2479

Architect:

Acanthus Architecture & Design  
412 Shrader Street  
San Francisco, CA 94117  
Tel: (415) 346-1572

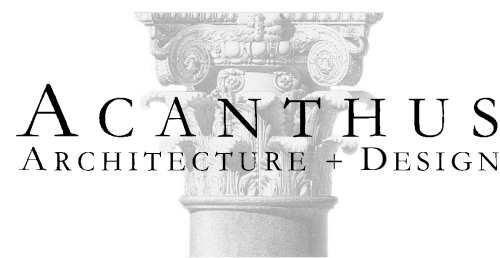
APPLICABLE CODES

All Work Shall Comply With:

- 2019 California Building Code
- 2019 California Residential Code
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Energy Code
- 2019 California Fire Code, with local amendments
- 2019 CalGreen Building Standards Code
- 2019 California Referenced Standards Code
- All Applicable City of Alameda Ordinances.

UNIT CALCULATIONS

Unit #	Existing	Proposed
Unit 1	2,051 s.f.	2,051 s.f.
Unit 2	492 s.f.	492 s.f.
ADU 1	---	527 s.f.
ADU 2	---	812 s.f.
Total	2,543 s.f.	3,882 s.f.



412 Shrader St., San Francisco, CA 94117  
415.346.1572  
1516 Oak St. #108, Alameda, CA 94502  
510.697.0224



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REVISIONS	DATE
Issued for Prelim. Planning Review	11-22-23
Issued for Planning Review	1-22-23
Planning Review Revision#1	3-7-23

PROJECT NAME

CLINTON AVE. REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

DRAWING TITLE

GENERAL NOTES

SCALE	N/A
DATE	November 20, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

C1.0





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# CLINTON AVE. REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

DRAWING TITLE

EXISTING  
SITE  
PLAN

SCALE

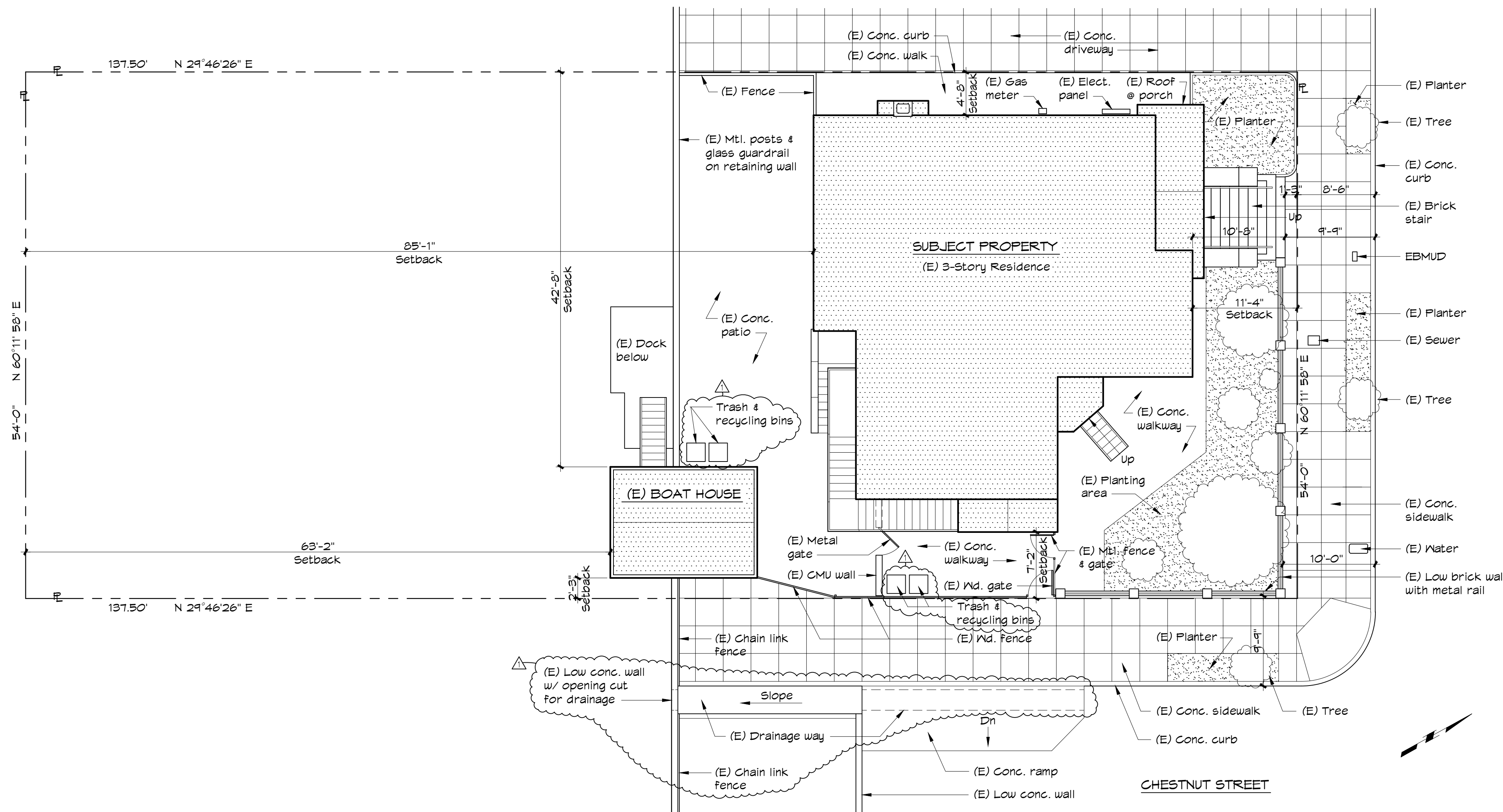
DATE Oct. 31, 2023

DRAWN BY DPM

JOB NO. \_\_\_\_\_

DRAWING NO. \_\_\_\_\_

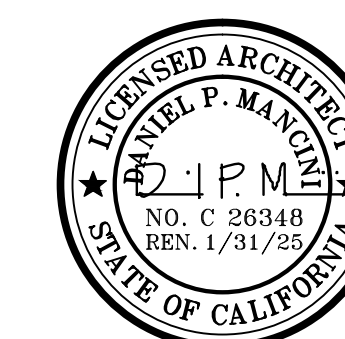
# A1.0



1  
A1.0

# EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



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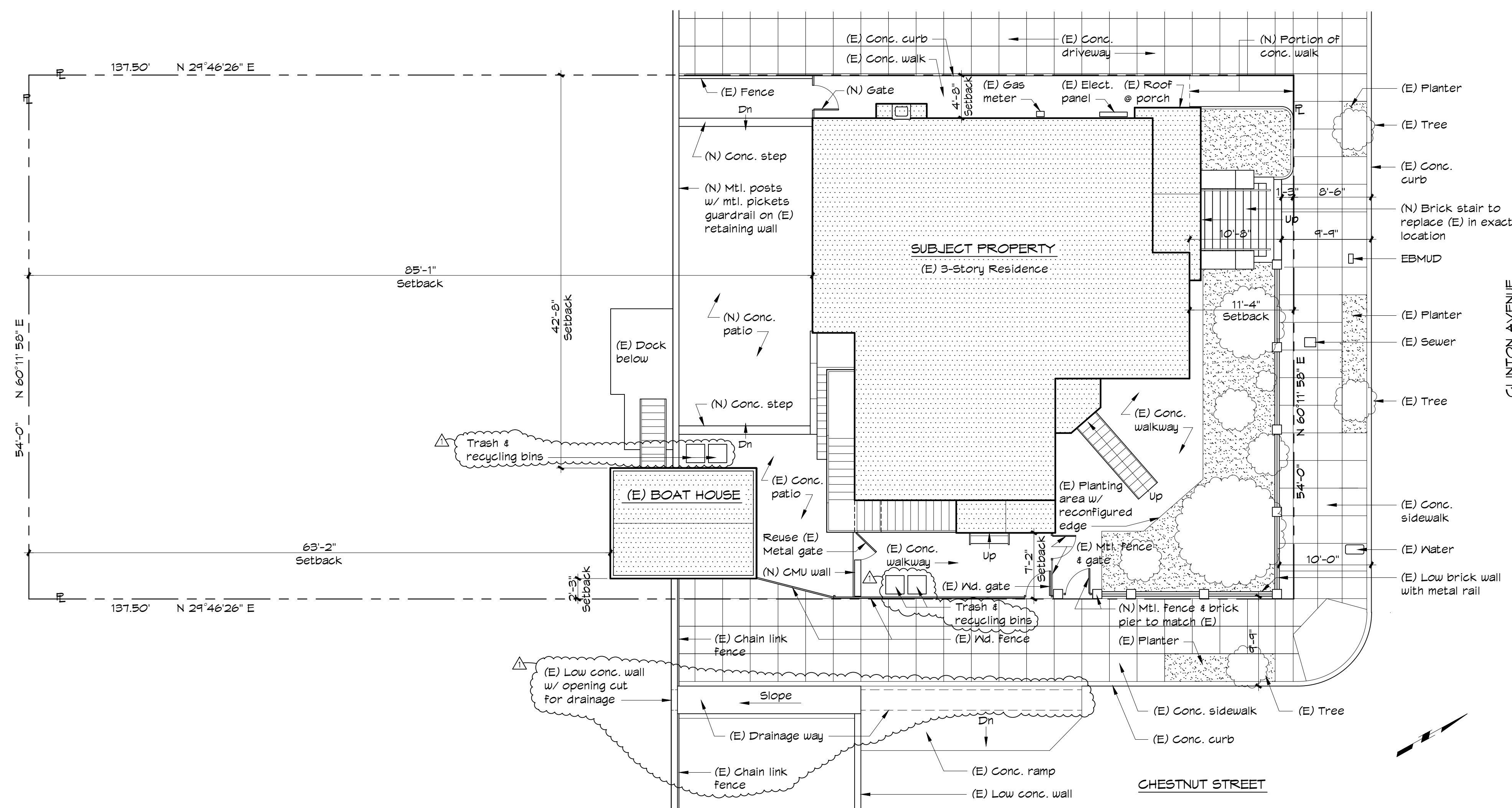
1912 Clinton Avenue  
Alameda, CA 94501

# PROPOSED SITE PLAN

JOB NO.

DRAWING NO.

## A1.1



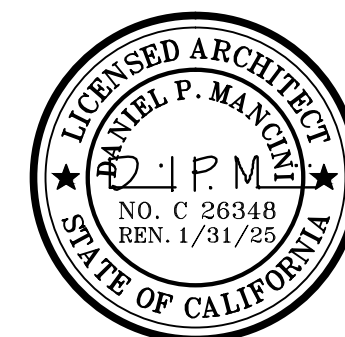
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A1.1

**PROPOSED SITE PLAN**

SCALE: 1/8" = 1'-0"



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## CLINTON AVE. REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

DRAWING TITLE

EXIST. & PROP.  
BASEMENT  
PLAN

SCALE 1/4" = 1'-0"

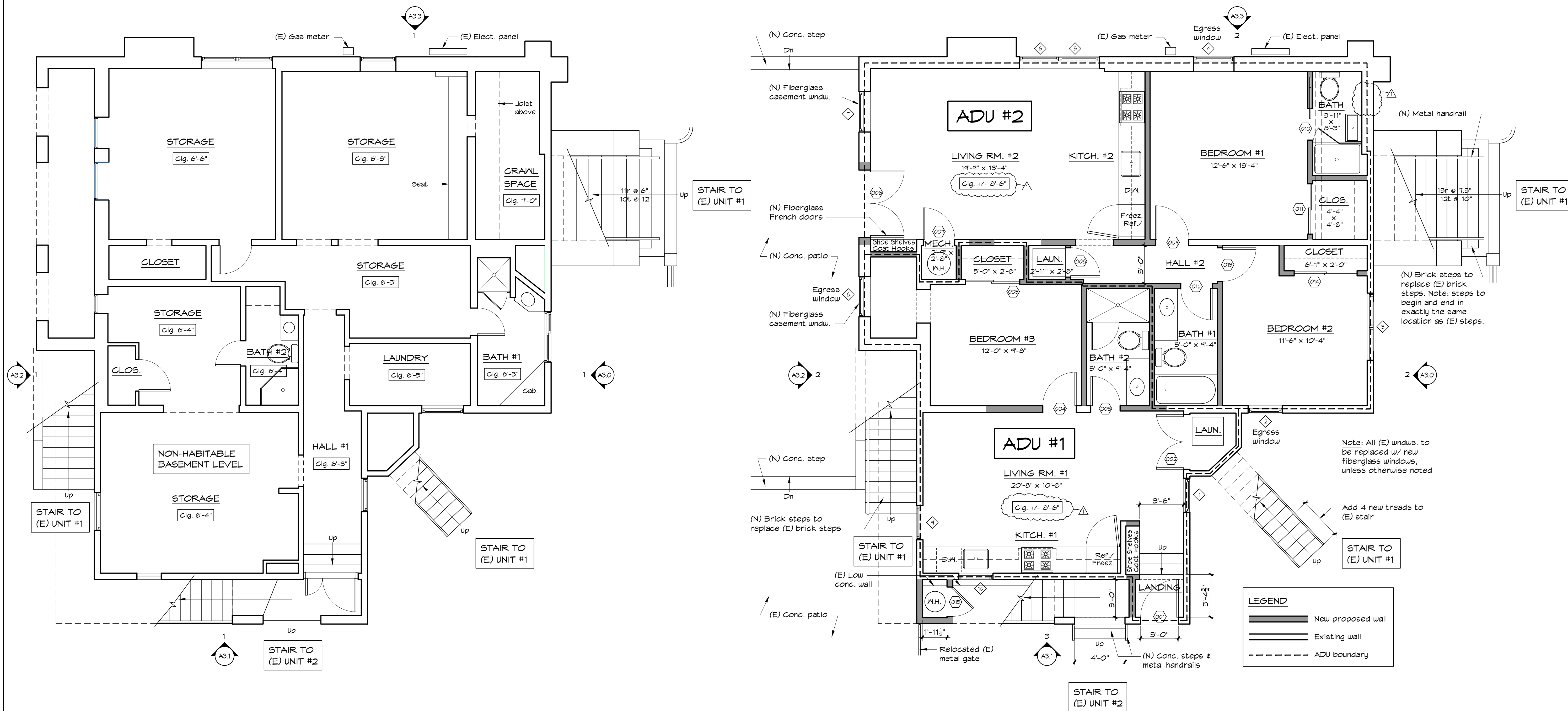
DATE Sept. 22, 2023

DRAWN BY DPM

JOB NO.

DRAWING NO.

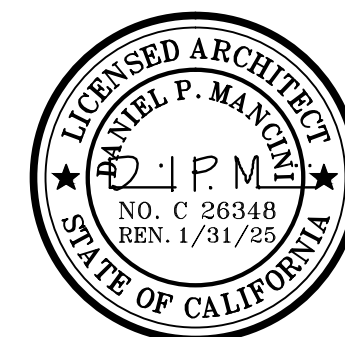
# A2.0







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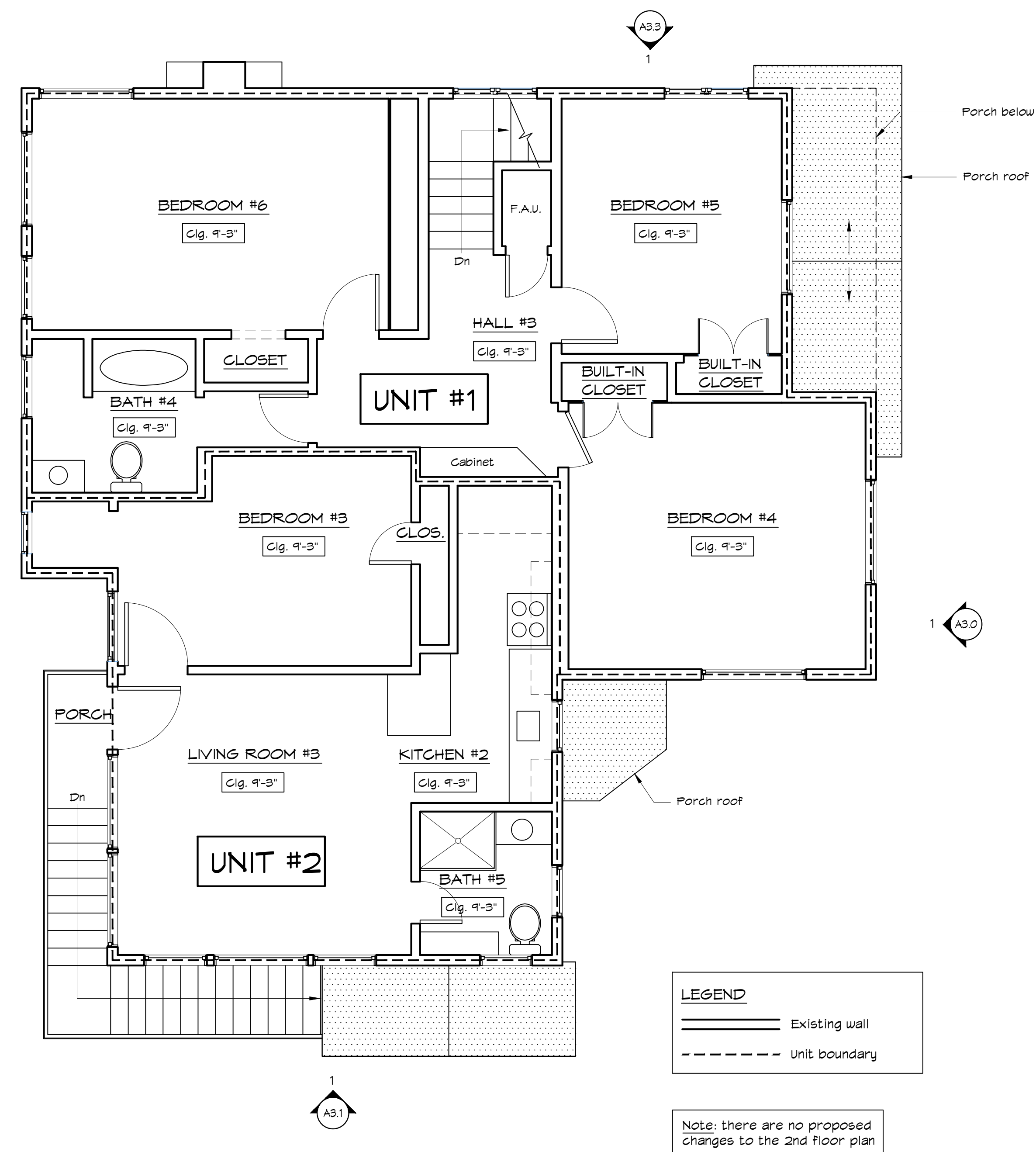
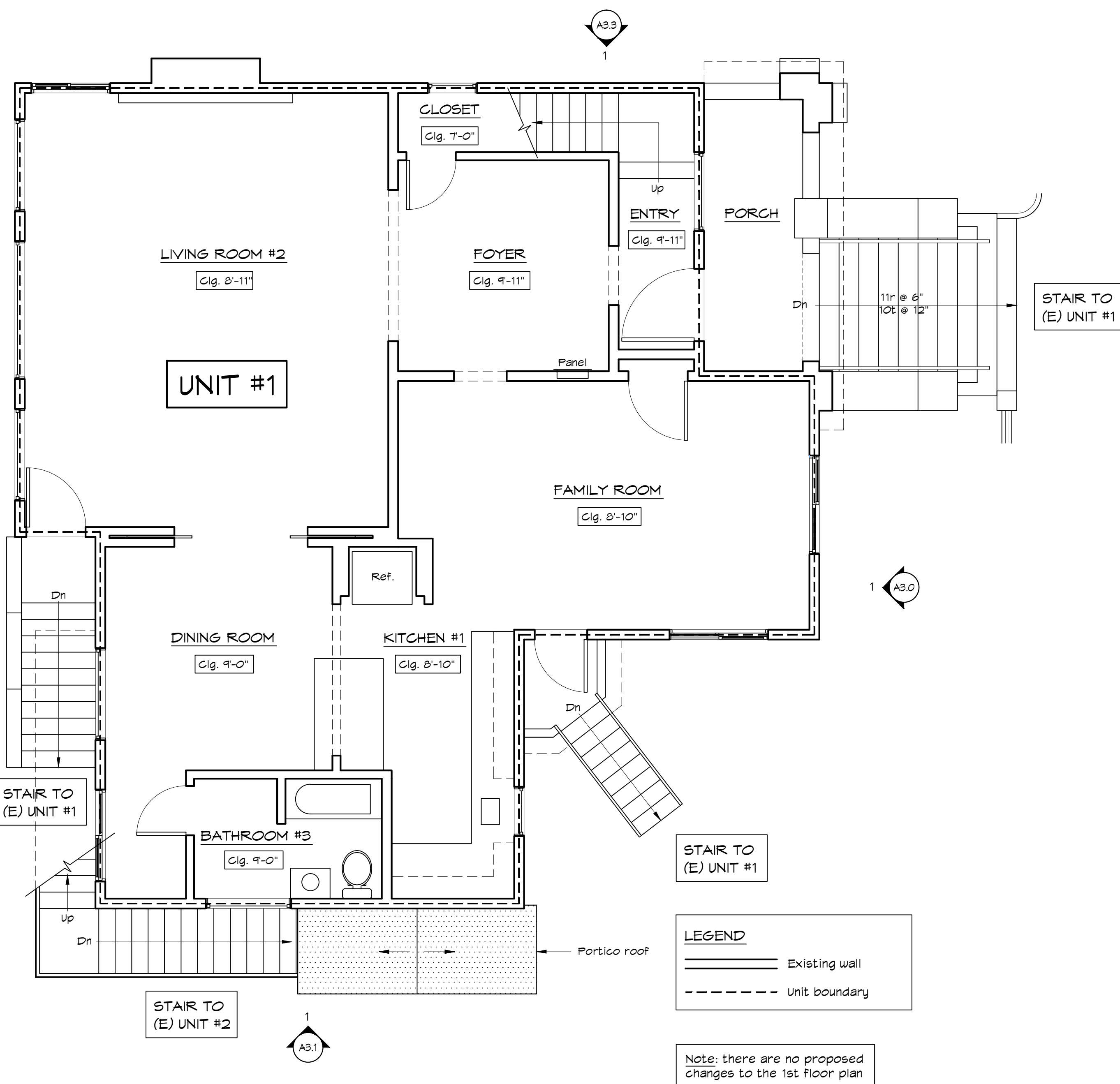
## CLINTON AVE. REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

### EXISTING FIRST & SECOND FLOOR PLANS

SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

# A2.1



## EXISTING FIRST FLOOR PLAN

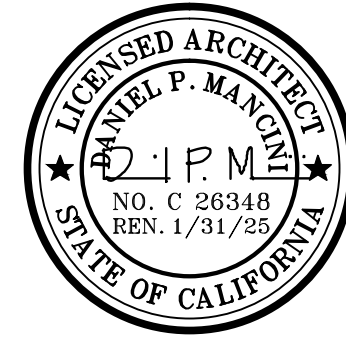
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## EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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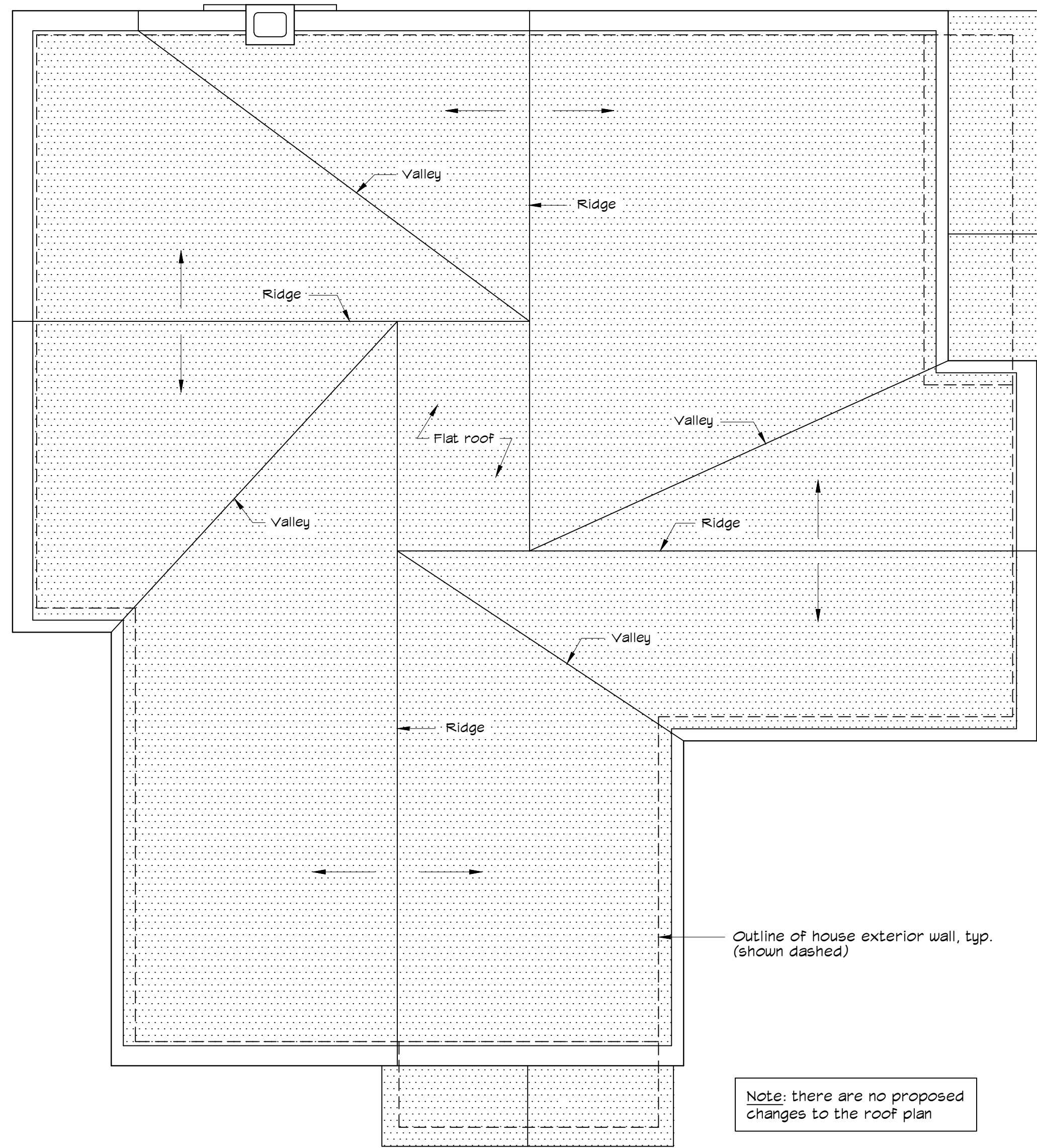
REVISIONS	DATE
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△ Planning Review Revision#1	3-7-23


CLINTON AVE.  
REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

DRAWING TITLE	
EXISTING ROOF PLAN	
SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

A2.2



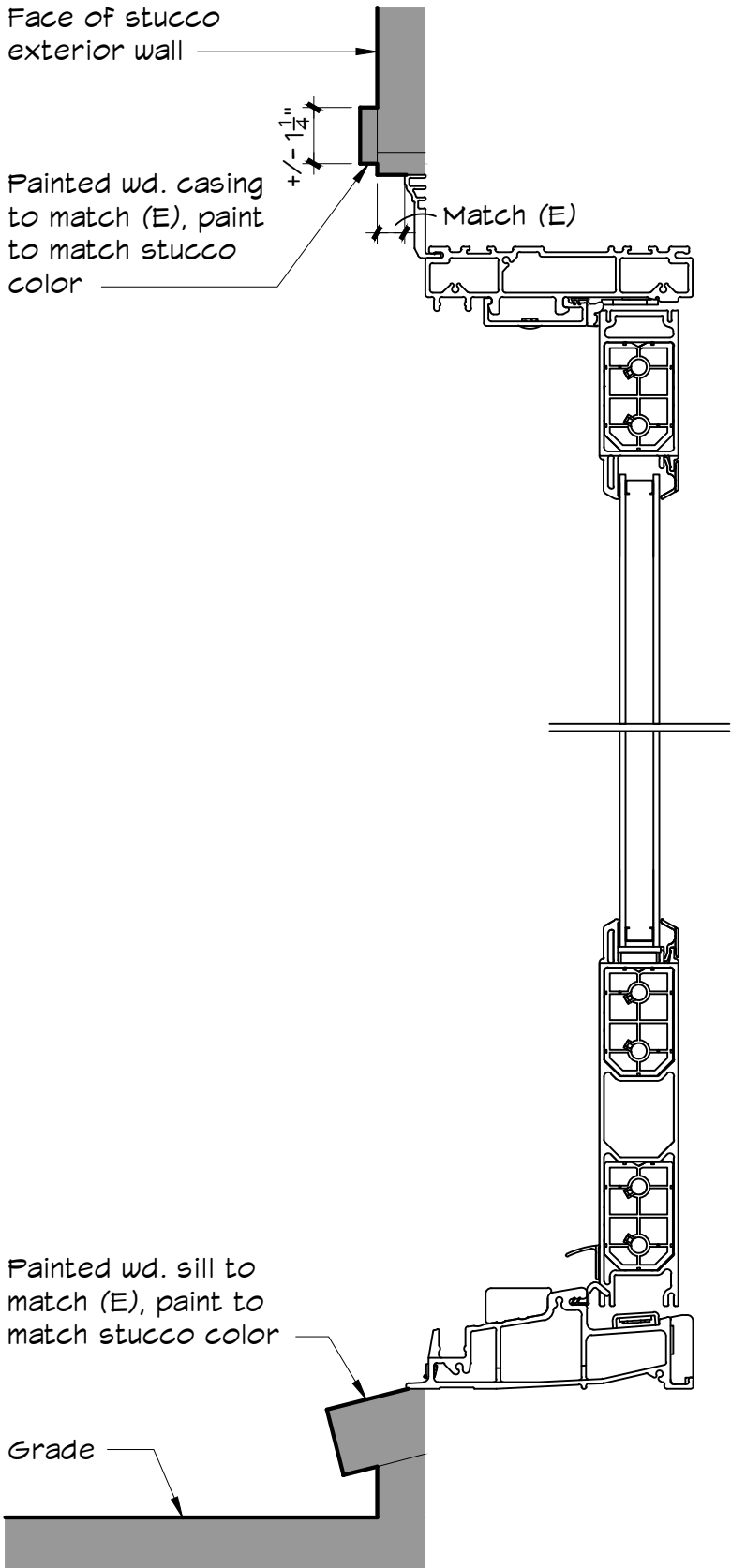
1  
A2.2  
EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"

Window & Exterior Door Schedule

Site Address: 1912 Clinton Ave, Alameda, CA 94501  
Year Built: "Before 1909" (per city permit records)  
Is property on City Study List or a City Monument: No  
Architectural Style of Building: Colonial Revival

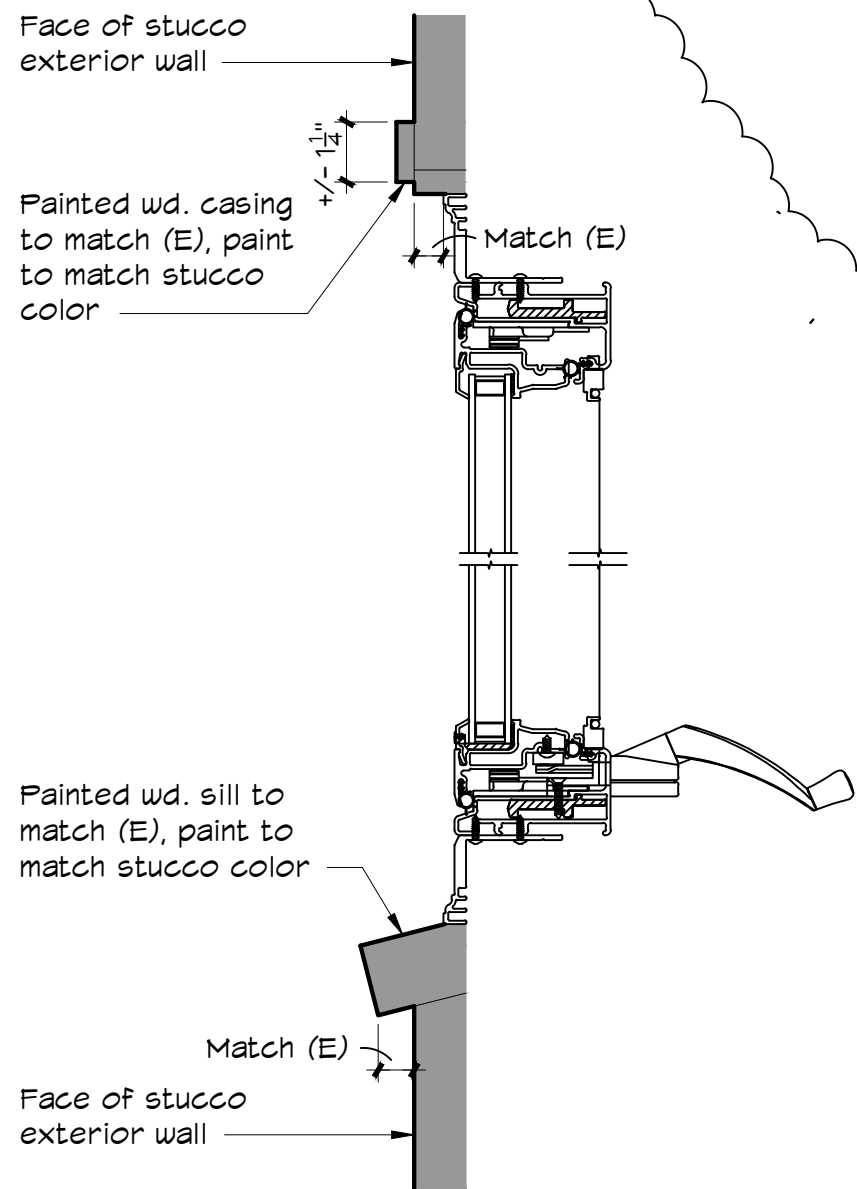
- Note #1:** All windows will be replaced with Milgard Fiberglass windows exactly/consistent with model/color/design/style of windows that currently exist on the first and second floors which were newly installed and finalled in 2023. Specifically:  
--Milgard C650 Ultra Casement windows Series 3510, 1-3/4" Z-Bar, External AND Internal colored Black Bean  
--Milgard C650 Ultra Single Hung windows Series 3210, 1-3/4" Z-Bar, External AND Internal colored Black Bean  
--Milgard C650 Ultra In-Swing Patio doors Series 3642, 1-3/4" Z-Bar, External AND Internal colored Black Bean
- Note #2:** Windows 7 & 8 and Door 006 are newly added to the New wall facing the lagoon (old wall/windows towards interior of the living room will no longer exist).
- Note #3:** Doors 001 & 006 to have tempered safety glass.

Window #	Room	Exiting Window Type	New Window Type	Existing Window Material	New Window Material	Existing Size (width) x (depth)	New Size (width) x (depth)	MUNTINS/ GRIDS
1	(ADU#1) Living Rm #1 - Facing Clinton	Jalousie	Single Hung	Aluminum / Wood	Fiberglass	32" X 30"	30" X 54"	Yes, see exterior elevation
2	(ADU#2) Bedroom #2 - Facing Chestnut	Jalousie	Casement - Egress	Aluminum / Wood	Fiberglass	41" X 28"	30" X 54"	Yes, see exterior elevation
3	(ADU#2) Bedroom #2 - Facing Clinton	Jalousie	Single Hung (pair)	Aluminum / Wood	Fiberglass	30" X 42"	(2) 30" X 54"	Yes, see exterior elevation
4	(ADU#2) Bedroom #1 - Walkway	Jalousie	Casement - Egress	Aluminum / Wood	Fiberglass	30" X 38"	36" X 60"	No
5	(ADU#2) Living Rm #2 - Walkway (i)	Jalousie	Casement	Aluminum / Wood	Fiberglass	30" X 38"	36" X 60"	No
6	(ADU#2) Living Rm #2 - Walkway (ii)	Jalousie	Casement	Aluminum / Wood	Fiberglass	30" X 38"	36" X 60"	No
7	(ADU#2) Living Rm #2 - Lagoon	-	Casement	-	Fiberglass	-	36" X 60"	No
8	(ADU#1) Bedroom #3 - Lagoon	-	Casement - Egress	-	Fiberglass	-	36" X 60"	No
9	(ADU#1) Living Rm #1 - Lagoon	Jalousie	Single Hung	Aluminum / Wood	Fiberglass	36" X 26"	30" X 54"	No
10	(ADU#1) Kitchen #1 - Facing Chestnut	Jalousie	Single Hung	Aluminum / Wood	Fiberglass	25" X 24"	30" X 48"	No
Door #	Room	Exiting Door Type	New Door Type	Existing Door Material	New Door Material	Existing Size (width) x (depth)	New Size (width) x (depth)	MUNTINS/ GRIDS
001	(ADU#1) Entry - Facing Chestnut	-	French Door	-	Fiberglass	-	36"X84"	No
006	(ADU#2) Living Rm #2 - Lagoon	-	French Door pair	-	Fiberglass	-	66"X90"	No

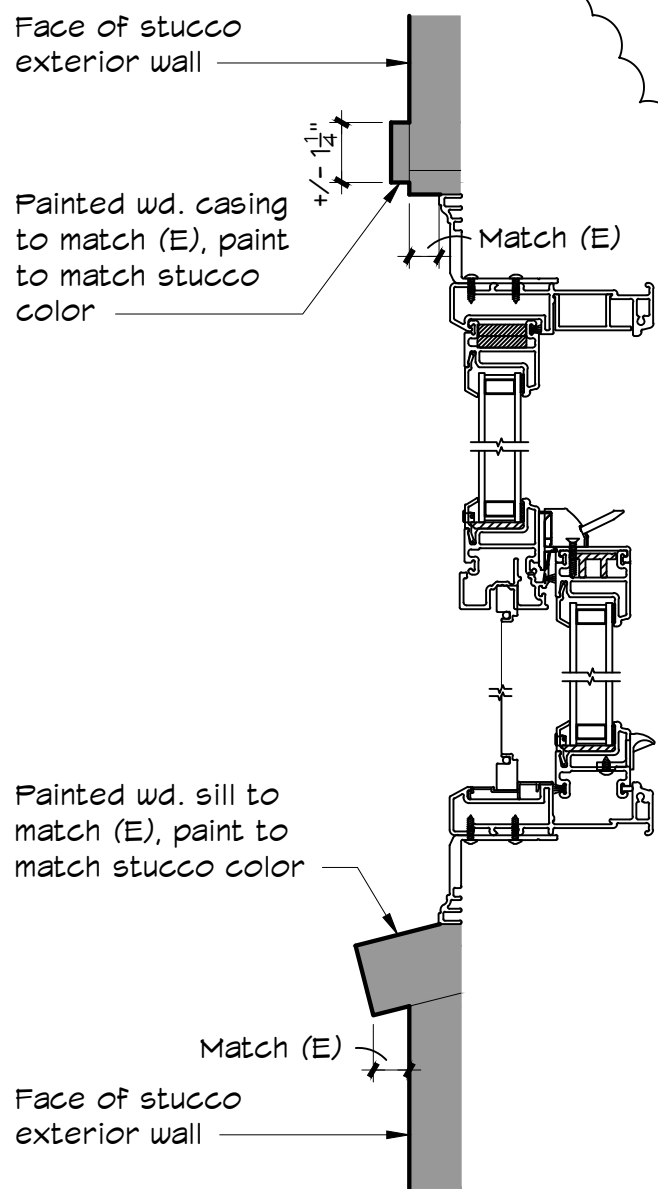


1 WINDOW & EXTERIOR DOOR SCHEDULE  
A2.3 SCALE: NO SCALE

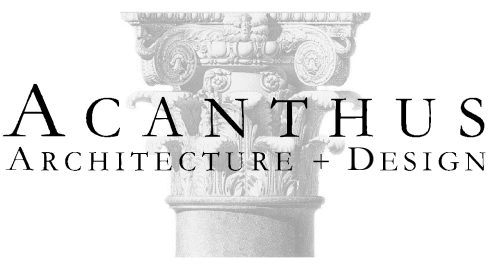
2 FRENCH DOOR HEAD (JAMB SIM.) & SILL DETAIL  
A2.3 SCALE: 3"=1'-0"



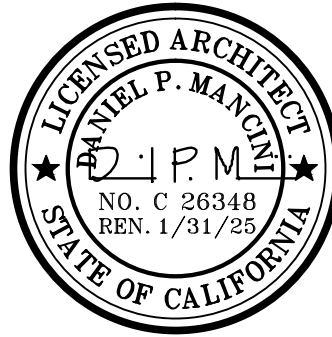
3 CASEMENT WINDOW HEAD (JAMB SIM.) & SILL DETAIL  
A2.3 SCALE: 3"=1'-0"



4 SINGLE HUNG WINDOW HEAD (JAMB SIM.) & SILL DETAIL  
A2.3 SCALE: 3"=1'-0"



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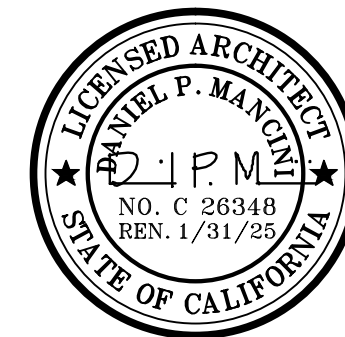
REVISIONS	DATE
△ Planning Review Revision#1	3-7-23

CLINTON AVE.  
REMODEL  
1912 Clinton Avenue  
Alameda, CA 94501

DRAWING TITLE
WINDOW & DOOR SCHEDULE & DETAILS
SCALE As Noted
DATE March 7, 2024
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JOB NO.
DRAWING NO.

A2.3





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Planning Review Revision#1	3-7-23

## CLINTON AVE. REMODEL

1912 Clinton Avenue  
Alameda, CA 94501

### EXIST. & PROP. FRONT EXTERIOR ELEVATION

SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

A3.0



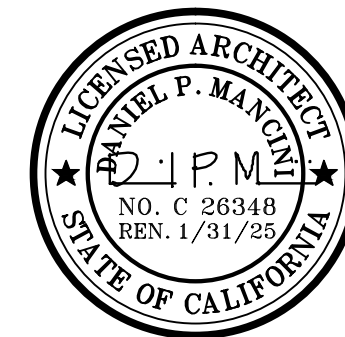
1  
A3.0  
EXISTING FRONT EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A3.0  
PROPOSED FRONT EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

Note: (E) Exterior light fixtures will remain unchanged, and no new exterior light fixtures will be added.





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## CLINTON AVE. REMODEL

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Alameda, CA 94501

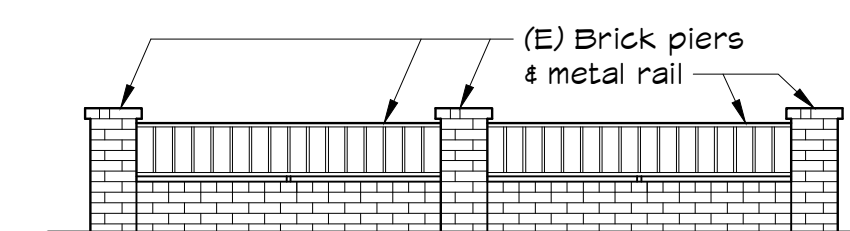
## EXIST. & PROP. CHESTNUT ST. EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

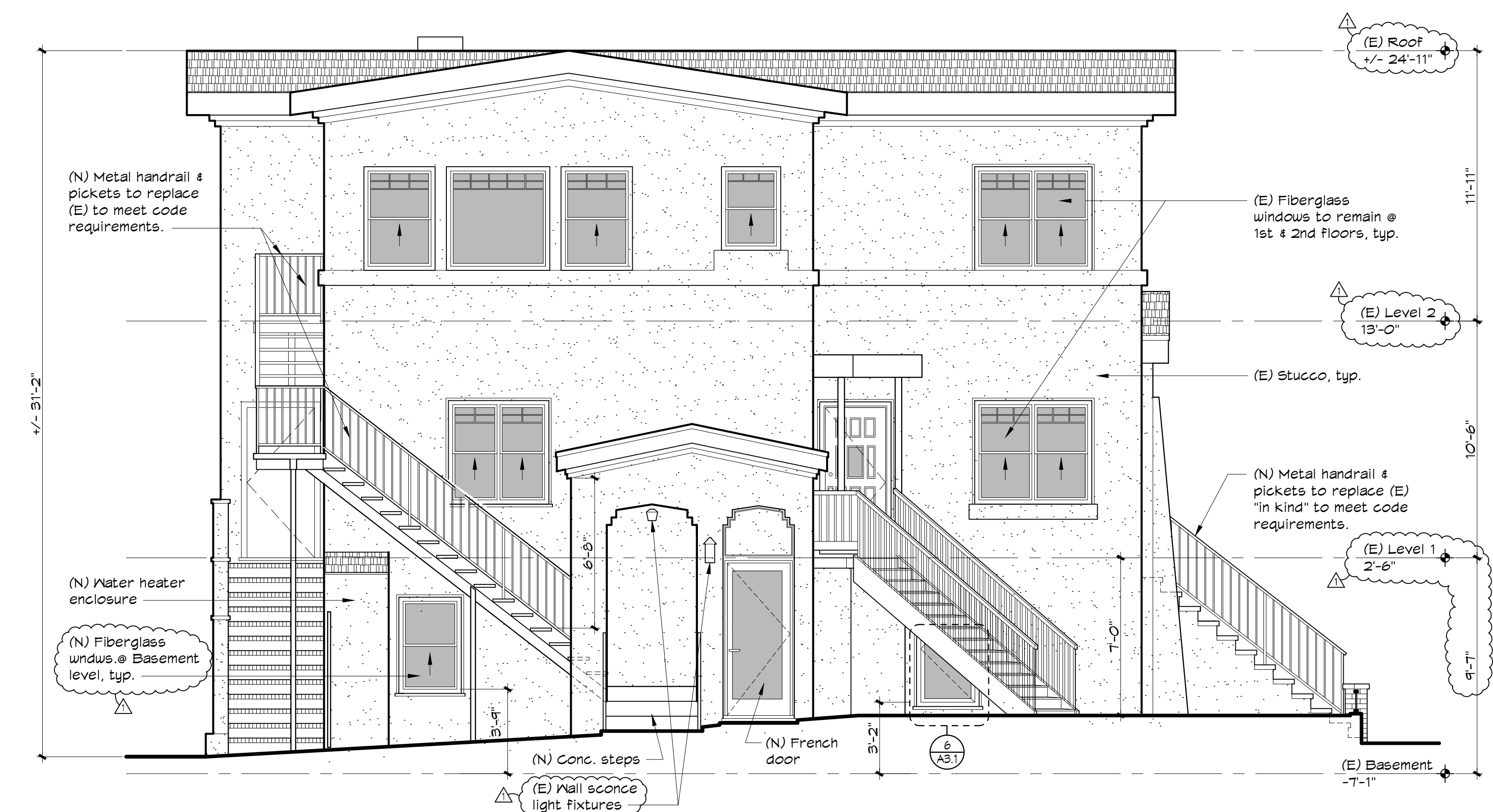
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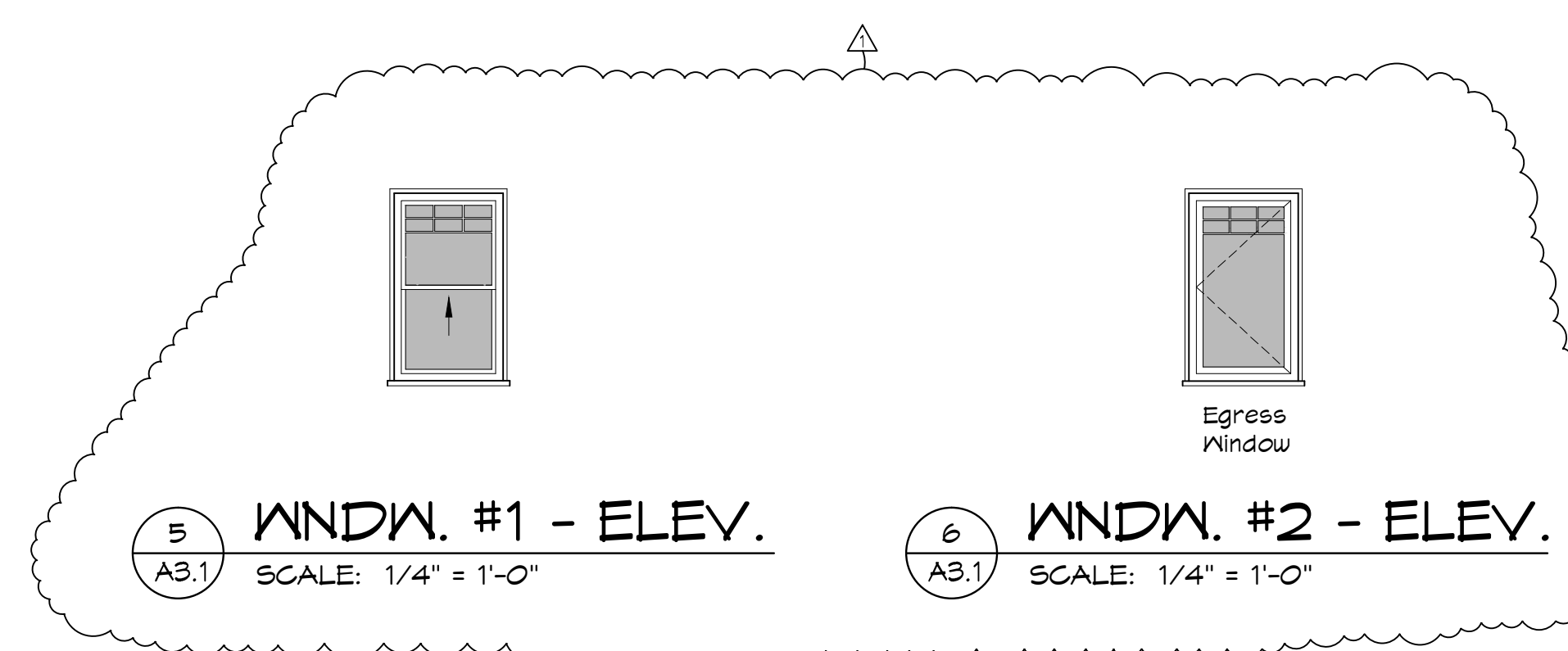
1 EXISTING CHESTNUT ST. EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



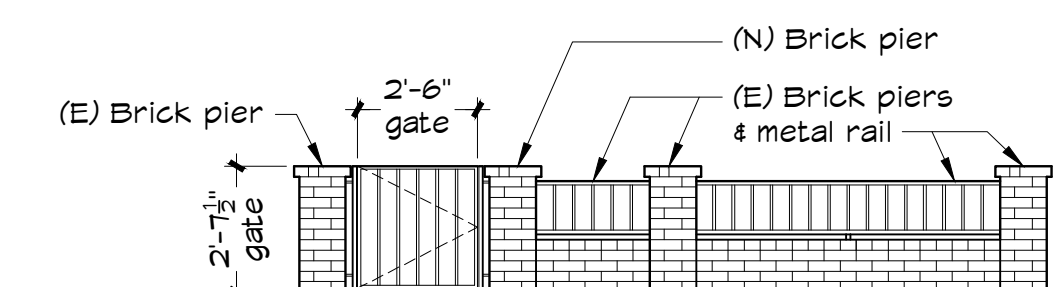
2 EXISTING BRICK PLANTER WALL @ CHESTNUT ST.  
SCALE: 1/4" = 1'-0"



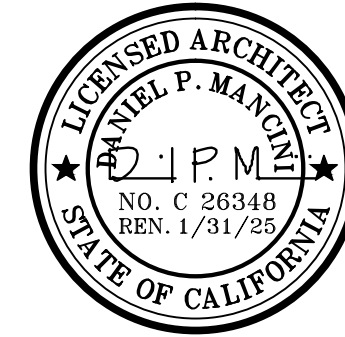
3 PROPOSED CHESTNUT ST. EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



Note: (E) Exterior light fixtures will remain unchanged, and no new exterior light fixtures will be added.



4 PROPOSED GATE @ CHESTNUT ST. BRICK PLANTER WALL  
SCALE: 1/4" = 1'-0"



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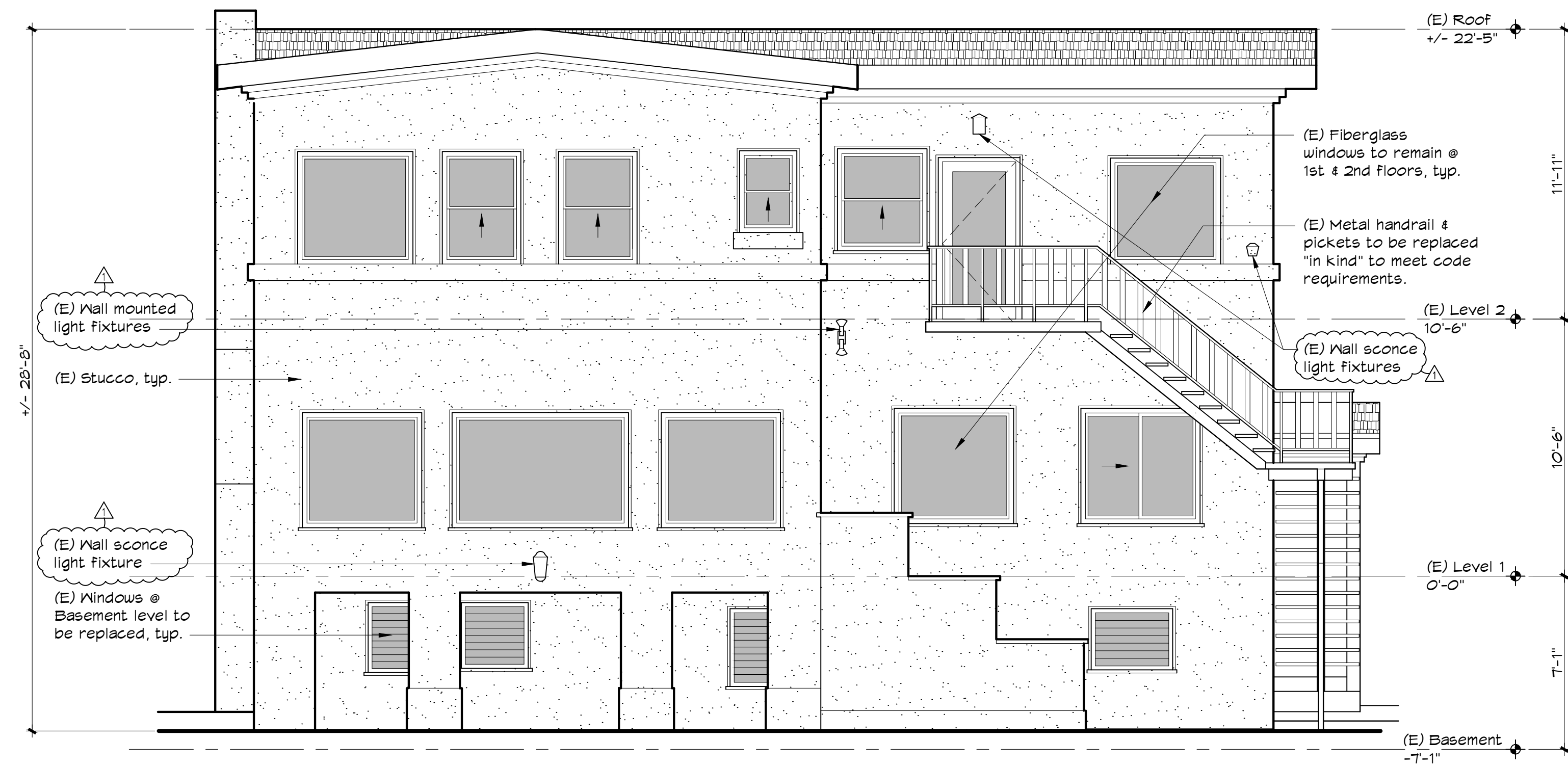
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Alameda, CA 94501

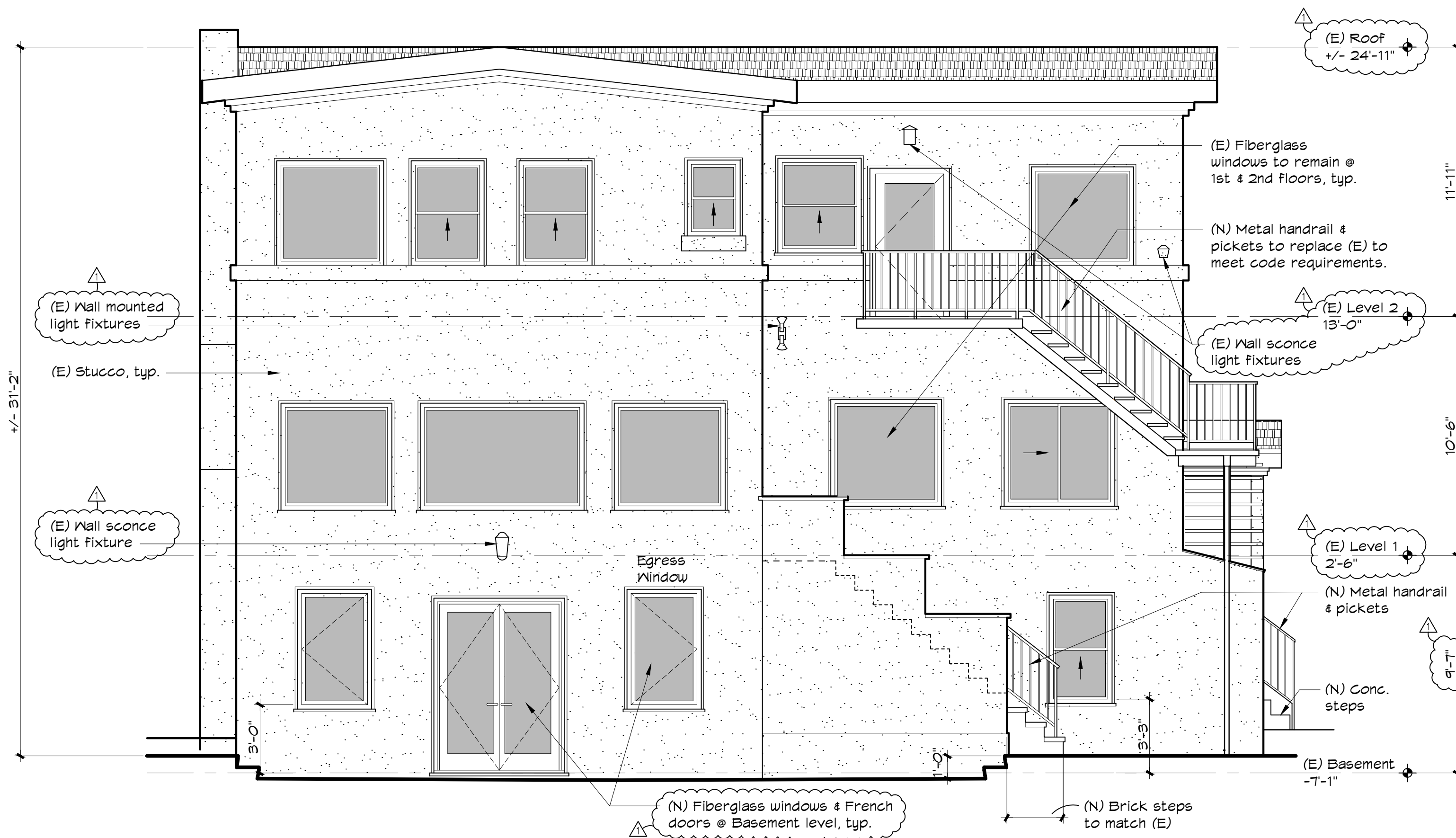
### EXIST. & PROP. REAR EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

# A3.2



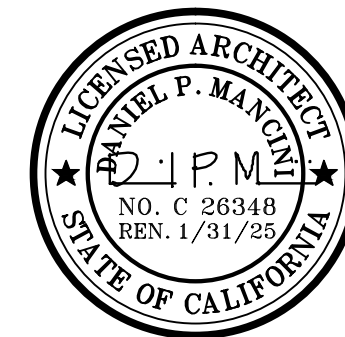
1 EXISTING REAR EXTERIOR ELEVATION  
A3.2 SCALE: 1/4" = 1'-0"



2 PROPOSED REAR EXTERIOR ELEVATION  
A3.2 SCALE: 1/4" = 1'-0"

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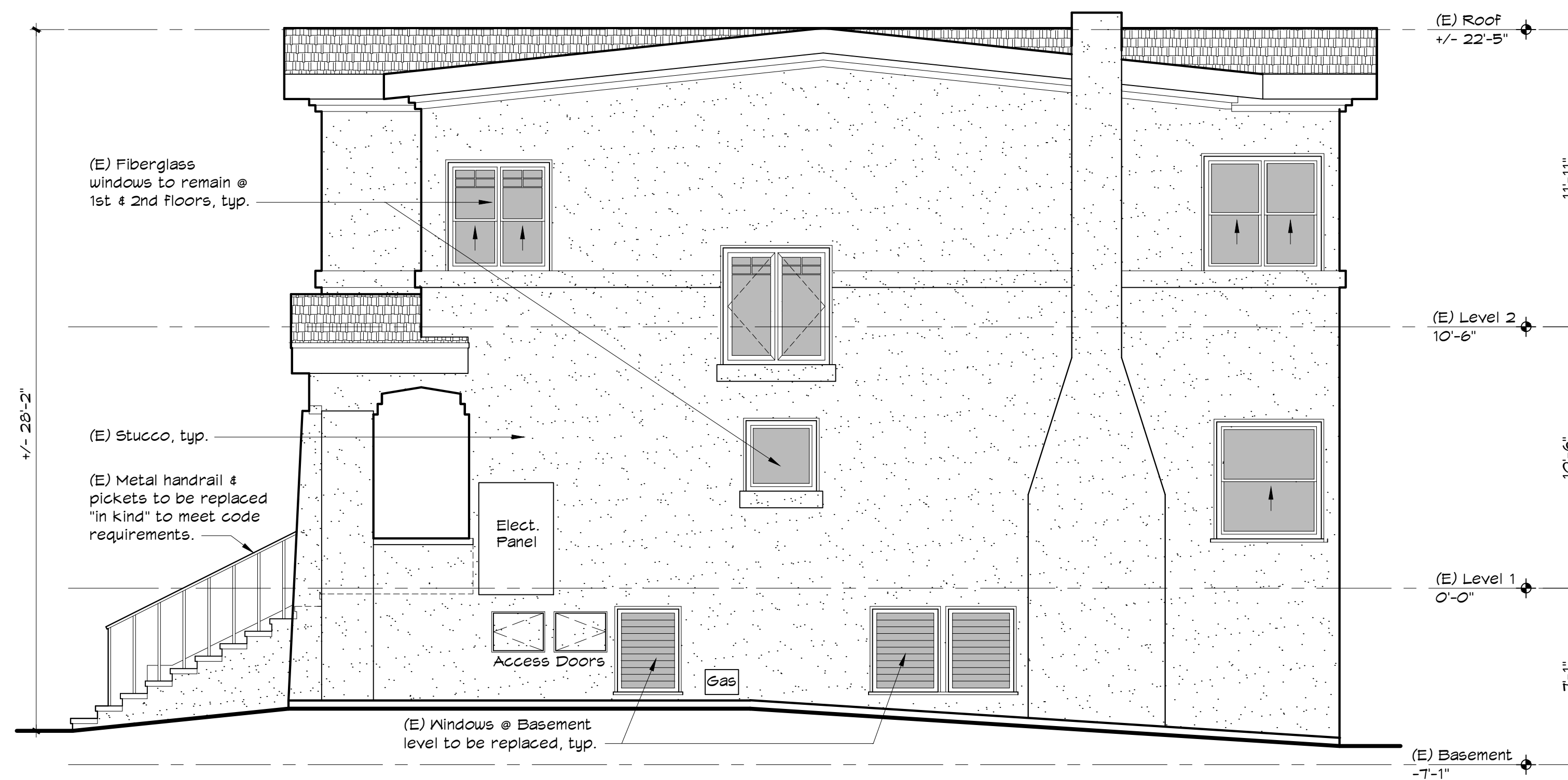
## CLINTON AVE. REMODEL

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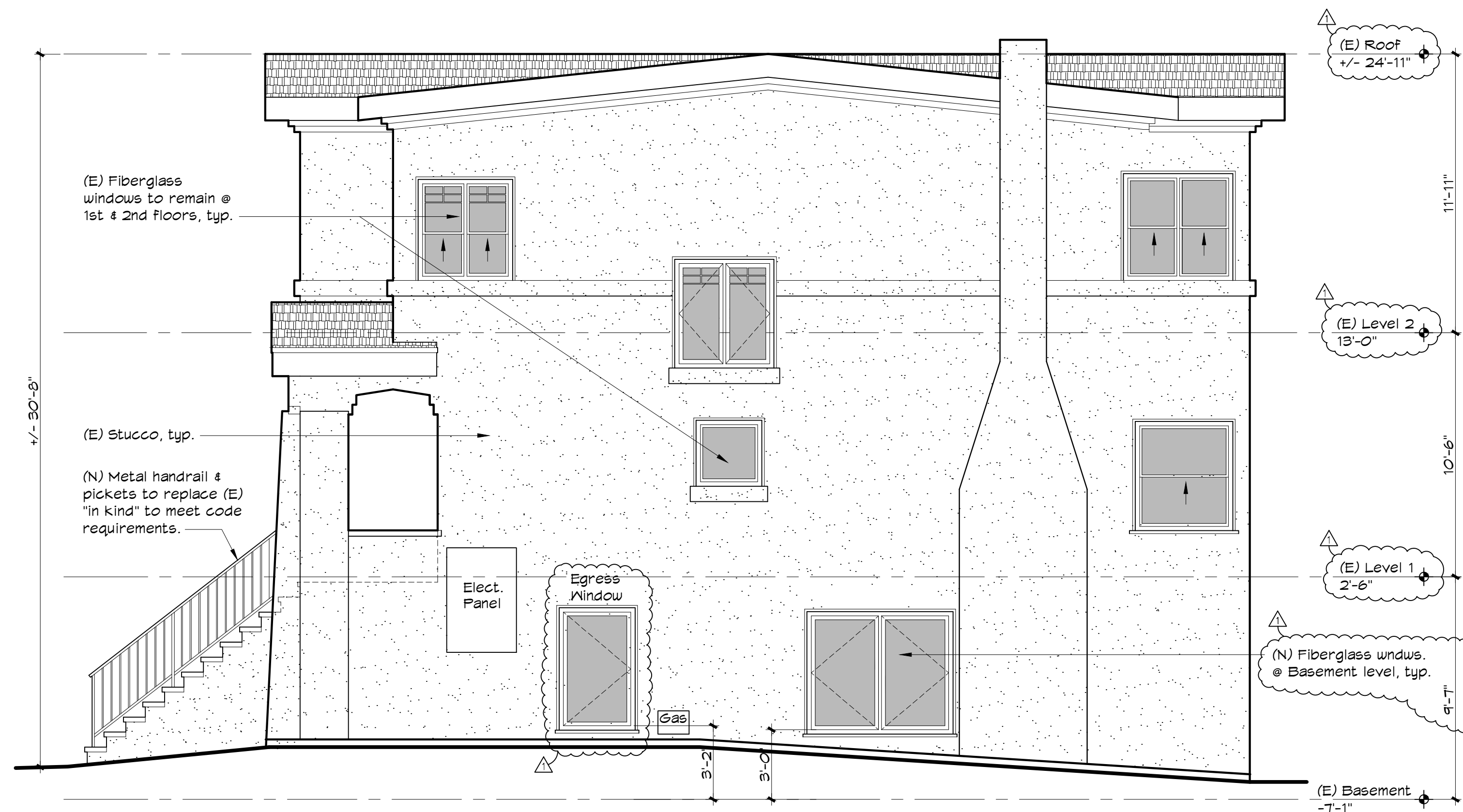
### EXIST. & PROP. DRIVEWAY EXTERIOR ELEVATIONS

SCALE	1/4" = 1'-0"
DATE	Sept. 22, 2023
DRAWN BY	DPM
JOB NO.	
DRAWING NO.	

# A3.3



1 EXISTING DRIVEWAY EXTERIOR ELEVATION  
A3.3 SCALE: 1/4" = 1'-0"



2 PROPOSED DRIVEWAY EXTERIOR ELEVATION  
A3.3 SCALE: 1/4" = 1'-0"