

LOCATION MAP

The map shows the Longfellow Park area in San Francisco. A red pin marks the 'SITE' location on Lincoln Ave, between Haight Ave and Santa Clara Ave. The map includes the following streets: Lincoln Ave, Haight Ave, Santa Clara Ave, Taylor Ave, Paden Elementary School, and Queen's Rd. Landmarks include Longfellow Park, Woodstock Child Development, Island Sprouts Home Preschool, Point Alameda Apartments, Village Homes, Surfside, Back 2 Nature Skincare & Wellness Spa, Del Coronado Apartments, St Barnabas Catholic Church, and Palaces Ct. A north arrow is located in the bottom right corner.

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GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED TO THE FOLLOWING CODES:

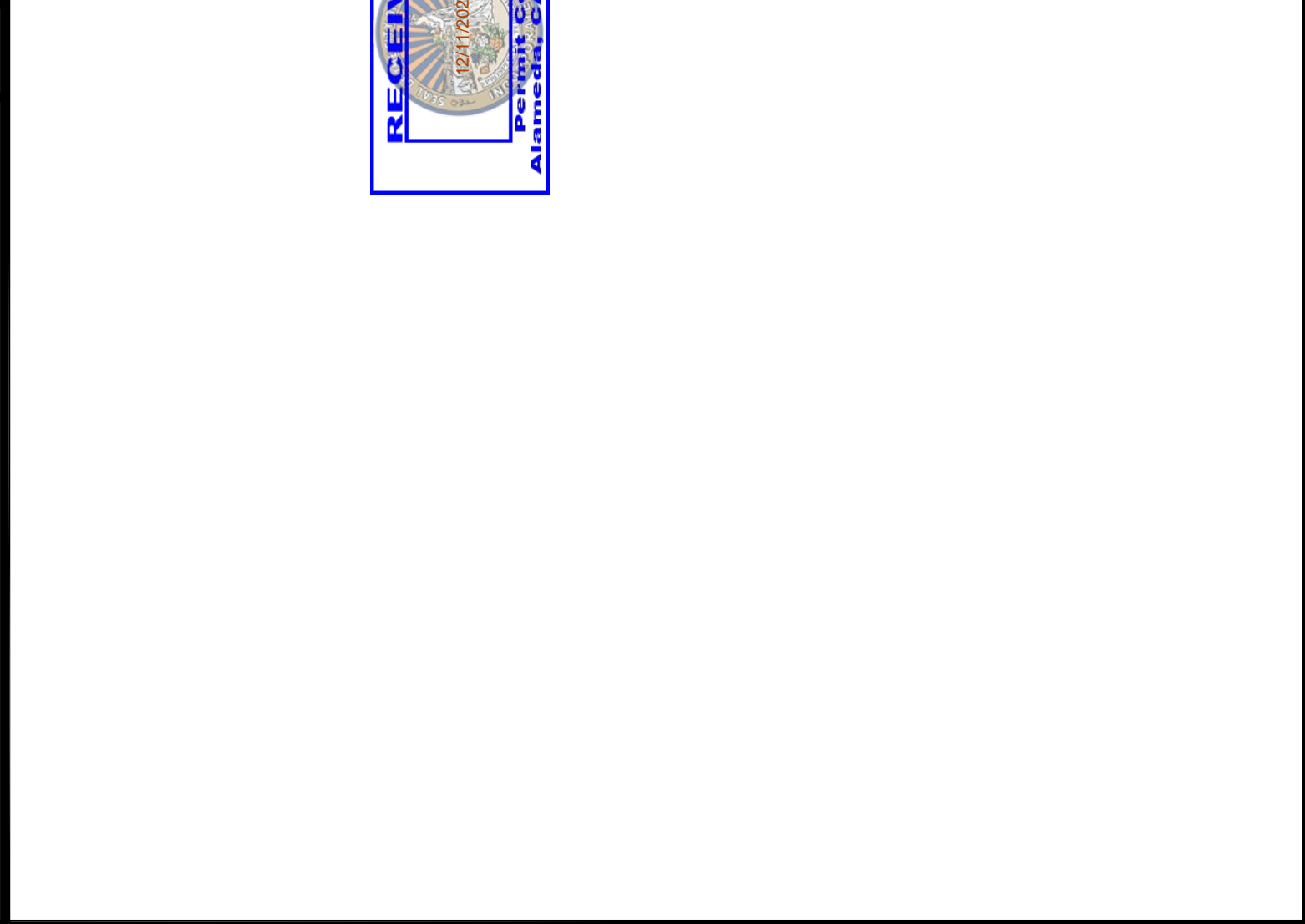
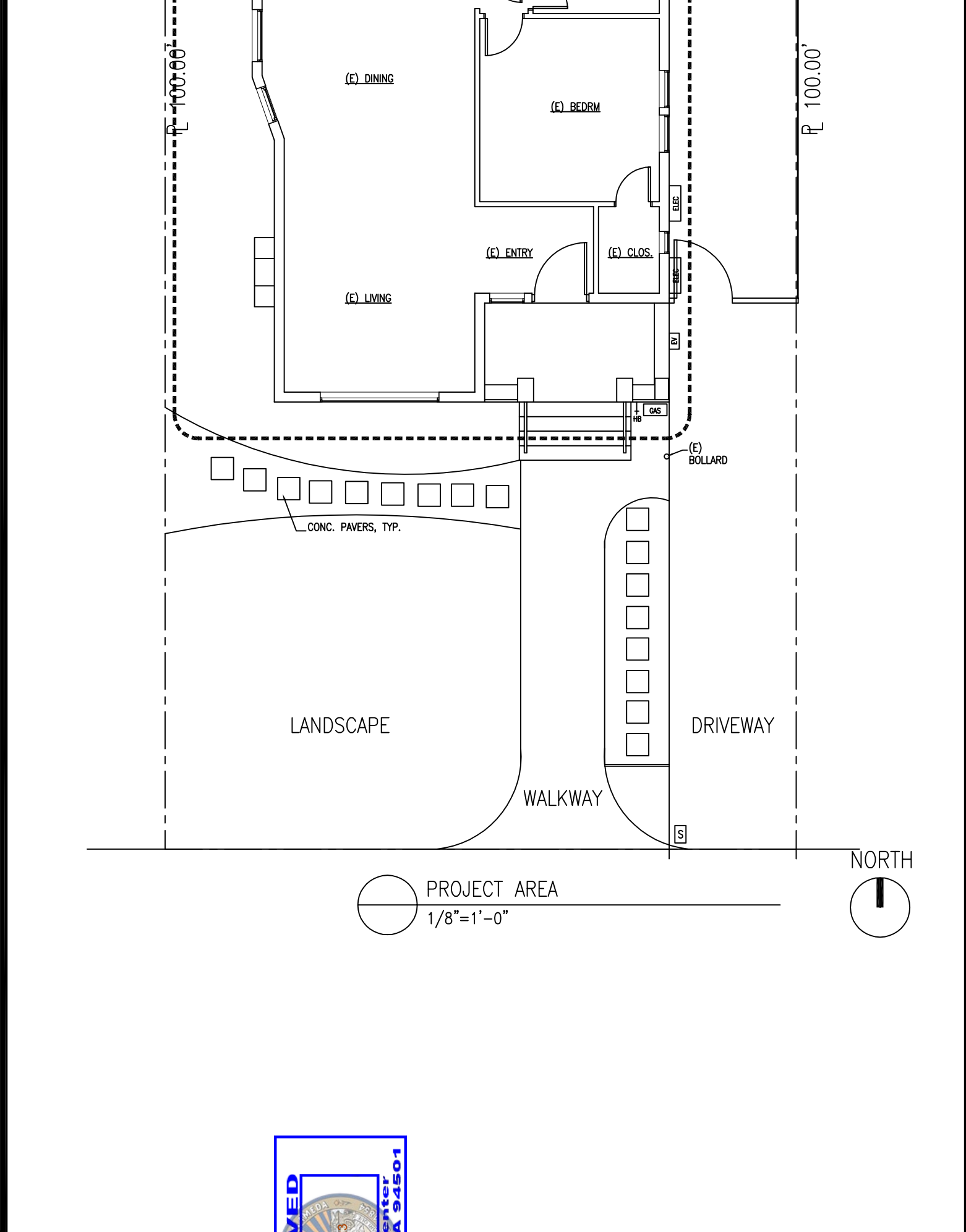
a. CALIFORNIA BUILDING CODE	2022 EDITION
b. CALIFORNIA MECHANICAL CODE	2022 EDITION
c. CALIFORNIA PLUMBING CODE	2022 EDITION
d. CALIFORNIA ELECTRICAL CODE	2022 EDITION
e. CALIFORNIA ENERGY CODE	2022 EDITION
f. CALIFORNIA FIRE CODE	2022 EDITION
g. CALIFORNIA GREEN BUILDING STANDARDS CODE	2022 EDITION
h. CALIFORNIA HISTORIC BUILDING CODE	2022 EDITION
i. CALIFORNIA RESIDENTIAL CODE	2022 EDITION
j. CALIFORNIA EXISTING BUILDING CODE	2019 EDITION
k. CITY OF ALAMEDA MUNICIPAL CODE	2019 EDITION OR CURRENT EDITION
2. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES & REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS & THE USE OF FACILITIES AS SET BY FEDERAL, STATE & LOCAL BUILDING CODES.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DESIGN DWGS.
4. ASSUMPTIONS HAVE BEEN MADE REGARDING THE (E) STRUCTURE & CONDITIONS OF WALLS, FLOORS, CEILING & BUILDING COMPONENTS. CONTRACTOR SHALL VERIFY (E) CONDITIONS AS BUILDING STRUCTURE IS UNCOVERED. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF CONDITIONS DIFFERENT FROM DWGS. ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR (E) STRUCTURE OR ITS LOCATION & CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS & WORKMANSHIP (U.N.O.) IN

6. THE CONTRACTOR SHALL VERIFY ALL DIMS & (E) CONDITIONS IN THE FIELD & NOTIFY ARCHITECT, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.
7. LARGE SCALE DWGS TAKE PRESEDENCE OVER SMALL SCALE DWGS.
8. ALL DIMS SHOWN ARE TO FACE OF FINISHED WALLS U.N.O.
9. SEE STRUCTURAL DWGS FOR FOUNDATION, SLAB & ALL OTHER STRUCTURAL INFORMATION & DETAILS.
10. NOTIFY THE OWNER & ARCHITECT IF MODIFICATIONS TO STRUCTURAL COMPONENTS ARE REQUIRED TO COMPLETE THE WORK & ARE NOT DESCRIBED IN THE CONTRACT DOCUMENTS.
11. THESE DWGS SHALL NOT BE SCALED.
12. PROVIDE NATURAL LIGHT (8% MIN. OF ROOM AREA) & NATURAL VENTILATION (5% MIN OF ROOM AREA) OR MECHANICAL VENTILATION PER CODE.
13. PROVIDE ESCAPE/EGRESS WINDOWS IN BEDROOMS. MIN. NET CLEAR OPENING: H=24" OR W=20" & AREA=5.7 SQ.FT. MAX 44" AFF TO CLR OPNG. OR PROVIDE DOORWAY DIRECTLY TO EXTERIOR.
14. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ANY TEMPORARY SHORING &/OR BRACING FOR ANY CONSTRUCTION.
15. REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASCIAS, STRUCTURAL ELEMENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK, COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC. & TIME REQUIRED TO EXECUTE THE LINE ITEM(S).
16. IT IS THE OWNER'S & GENERAL CONTRACTOR'S RESPONSIBILITY TO DISTRIBUTE THE ASSOCIATED SPECIFICATION BOOK FOR THIS PROJECT TO ALL SUBCONTRACTORS FOR REVIEW PRIOR TO BIDDING & CONSTRUCTION. THE SPECIFICATIONS ARE INTERGRAL TO THE PROJECT AND ARE A LEGAL & BINDING DOCUMENT PERTAINING TO THE PROJECT.
17. SMOKE & CARBON MONOXIDE DETECTORS SHALL BE FIELD VERIFIED OR INSTALLED IN ACCORDANCE W/CODE.
18. TITLE 24 ENERGY COMPLIANCE MAY REQUIRE "HERS" AND/OR "qii" TESTING BEFORE, DURING AND/OR AFTER CONSTRUCTION. CAREFULLY REVIEW THE ENCLOSED TITLE 24 DOCUMENTATION FOR THESE REQUIREMENTS. GENERAL CONTRACTOR IS RESPONSIBLE FOR RESPONDING TO THE REQUIREMENTS & COORDINATING & CALLING FOR THESE INSPECTIONS.

1. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN. DWGS INDICATE GENERAL INTENT OF DEMOLITION AREAS ONLY. PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION TO COMPLETE THE PROJECT AS SHOWN ON THE CONSTRUCTION PLAN.
2. CONTRACTOR TO VERIFY LOCATION OF (E) UTILITIES & SAFEGUARD PRIOR TO STARTING DEMO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, CAP, RECONNECT, RELOCATE OR REMOVE ANY &/OR ALL UTILITIES BEFORE, DURING & AFTER DEMO & (N) CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REMOVAL OF DEBRIS.
4. WHERE (E) CONSTRUCTION IS REMOVED, ALL FIXTURES (OUTLETS, SWITCHES, THERMOSTATS, ETC.) SHALL ALSO BE REMOVED & CAPPED BEHIND FINISHED WALL UNLESS FIXTURES ARE TO BE REUSED &/OR RELOCATED. CONCEAL NO SWITCHES, JCT. BOXES, ETC. IN WALLS.
5. WHERE (E) CONSTRUCTION IS DISTURBED BY DEMOLITION OR NEW WORK, IT SHALL BE REPAIRED &/OR PATCHED TO MATCH (E) FINISH OR AS SPECIFIED IN THE DWGS.
6. PATCH & REPAIR ROOF WHERE NEW CONSTRUCTION OCCURS. MATCH (E) MATERIALS & SYSTEMS.
7. ALL WASTE MANAGEMENT DOCUMENTATION IS TO BE PERFORMED ON THE "GREENHALO" REPORTING WEBSITE. MIN 65% MIN RECYCLING RATE PER CALGREEN CODE.

Floor plan of the Project Area, showing various rooms and features. The plan includes a central island, a kitchen, a bar, a deck, a garage, a bathroom, and a closet. The overall dimensions are 42.50' by 42.50'.

- PROJECT AREA**: The main area of the project, outlined by a dashed line.
- (E) DECK**: A deck area located at the top of the project area.
- (E) GARAGE**: A garage area located to the right of the project area.
- ISLAND**: A central island in the kitchen area.
- KITCHEN**: The main kitchen area, including a sink, stove, and refrigerator.
- BAR**: A bar area located near the deck.
- REF**: Refrigerator.
- DW**: Dishwasher.
- (N) PANTRY**: A pantry area located near the kitchen.
- (N) STAIR**: A staircase area located near the pantry.
- (E) BATH**: A bathroom area located near the stairs.
- (N) CLOS.**: A closet area located near the bathroom.
- W/D**: Washing machine/dryer area.
- WH**: Walk-in cooler area.



CONTACT INFO	
<u>OWNER:</u> ASHLEY AULD-FISHER & ANDY FISHER 337 SANTA CLARA AVENUE ALAMEDA, CA 94501 (415) 259-7314	<u>STRUCTURAL ENGINEER:</u> LOU XIAO, S.E. 723 CAMINO PLAZA #115 SAN BRUNO, CA 94066 (415) 601-9686
SITE DATA & CALCULATIONS	
<u>PROJECT DESCRIPTION AND USE</u> 1. RENOVATION OF EXISTING SINGLE FAMILY RESIDENCE. 2. REPLACE FOUNDATION. 3. ADD UPPER FLOOR. 4. RELOCATE & ADD NEW BEARING WALLS, NON-BEARING WALLS, PLUMBING AND ELECTRICAL FIXTURES. 5. INSTALL NEW WINDOWS WITH LIKE IN-KIND. INSTALL NEW INTERIOR DOORS. 6. ADD ONE NEW BEDROOM, FAMILY (GAME) ROOM AND BATHROOM UPSTAIRS.	
PARCEL NUMBER: ZONING OCCUPANCY: CONSTRUCTION TYPE:	74-465-4 R-1 R-3/U TYPE VB, NON-RATED, NON-SPRINKLERED
<u>DEFERRED SUBMITTALS</u>	

1. PLUMBING LINE DIAGRAMS

SUBMITTAL LIST APPD BY ERIC SHIMP, CBO:_____

2. GREEN HALO REGISTRATION (BY SELECTED CONTRACTOR)

SUBMITTAL LIST APPD BY DPW:_____

- | PROJECT DESCRIPTION AND USE | |
|-----------------------------|----------------------------------------------------------------------------------------|
| 1. | RENOVATION OF EXISTING SINGLE FAMILY RESIDENCE. |
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PARCEL NUMBER:	74-465-4
ZONING	R-1
OCCUPANCY:	R-3/U
CONSTRUCTION TYPE:	TYPE VB, NON-RATED, NON-SPRINKLERED

1. PLUMBING LINE DIAGRAMS

SUBMITTAL LIST APPD BY ERIC SHIMP, CBO: _____

- 2 GREEN HALO REGISTRATION (BY SELECTED CONTRACTOR)

SUBMITTAL LIST ADDD BY DDW:

CATEGORIES	STANDARD	EXISTING	PROPOSED
TOTAL LOT AREA	5,000 SF	4,250 SF	4,250 SF
LOT DEPTH	100'	100'	100'
LOT WIDTH	50'	42'-6"	42'-6"
FRONT YARD SETBACK		12'-0"	12'-0"
REAR YARD SETBACK		14'-6"	14'-6"
LEFT SIDE YARD SETBACK:		8'-7"	8'-7"
RIGHT SIDE YARD SETBACK:		5'-4"	5'-4"
FOOTPRINT FLOOR AREA (W/GARAGE)		1655 SF	1655 SF
LOT COVERAGE (%)	50%	39%	39%
GARAGE/WORKSHOP SIZE		285 SF	285 SF
MAX. BLDG HEIGHT	30'	±19'-0"	27'-6"
NUMBER OF FLOORS		1	2
SEPARATION BETWEEN MAIN HOUSE/GARAGE	MIN. 6"	4'-6"	4'-6"
NUMBER OF OFF STREET PARKING SPACES	MIN. 2	2	2
DRIVEWAY WIDTH		8'-6"	8'-6"
TOTAL USABLE OPEN SPACE		±2595 SF	±2595 SF

A1.0	TITLE PAGE & PROJECT INFO
A1.1	DESIGN NOTICE
A1.2	SITE PLANS
A2.0	MAIN FLOOR PLANS & SCHEDULES
A2.1	PROPOSED UPPER FLOOR PLAN & SCHEDULES
A2.2	ROOF PLANS & DETAILS
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS

LICENSED ARCHITECT
 DANIEL H. HAYS
 C-30030
 08-31-2025
 EXPIRATION
 DATE
 STATE OF CALIFORNIA

PLANS & SPECIFICATIONS ARE PREPARED AS
 INSTRUMENTS OF SERVICE FOR THE CLIENT AND ARE
 THE PROPERTY OF THE ARCHITECT AND SHALL NOT
 BE USED FOR OTHER WORK WITHOUT THE WRITTEN
 CONSENT OF THE ARCHITECT.



**RESIDENTIAL
RENOVATION**

Project Number 2023-744654		Drawn By BRADY DILLON		Checked By DH	
Issues <input type="checkbox"/>		Revisions <input type="checkbox"/>			
Number		Date		Description	
<input type="checkbox"/> 1		2023-12-01		PLANNING SUBMITTAL	

TITLE PAGE &
PROJECT INFO

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ALAMEDA, CALIFORNIA 94501

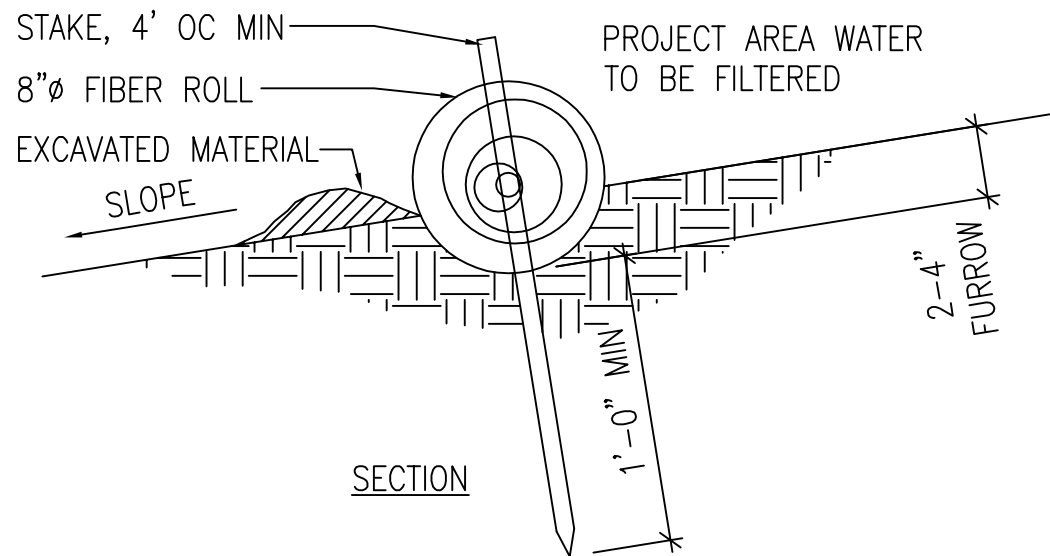
RESIDENTIAL
RENOVATION

WALL LEGEND:

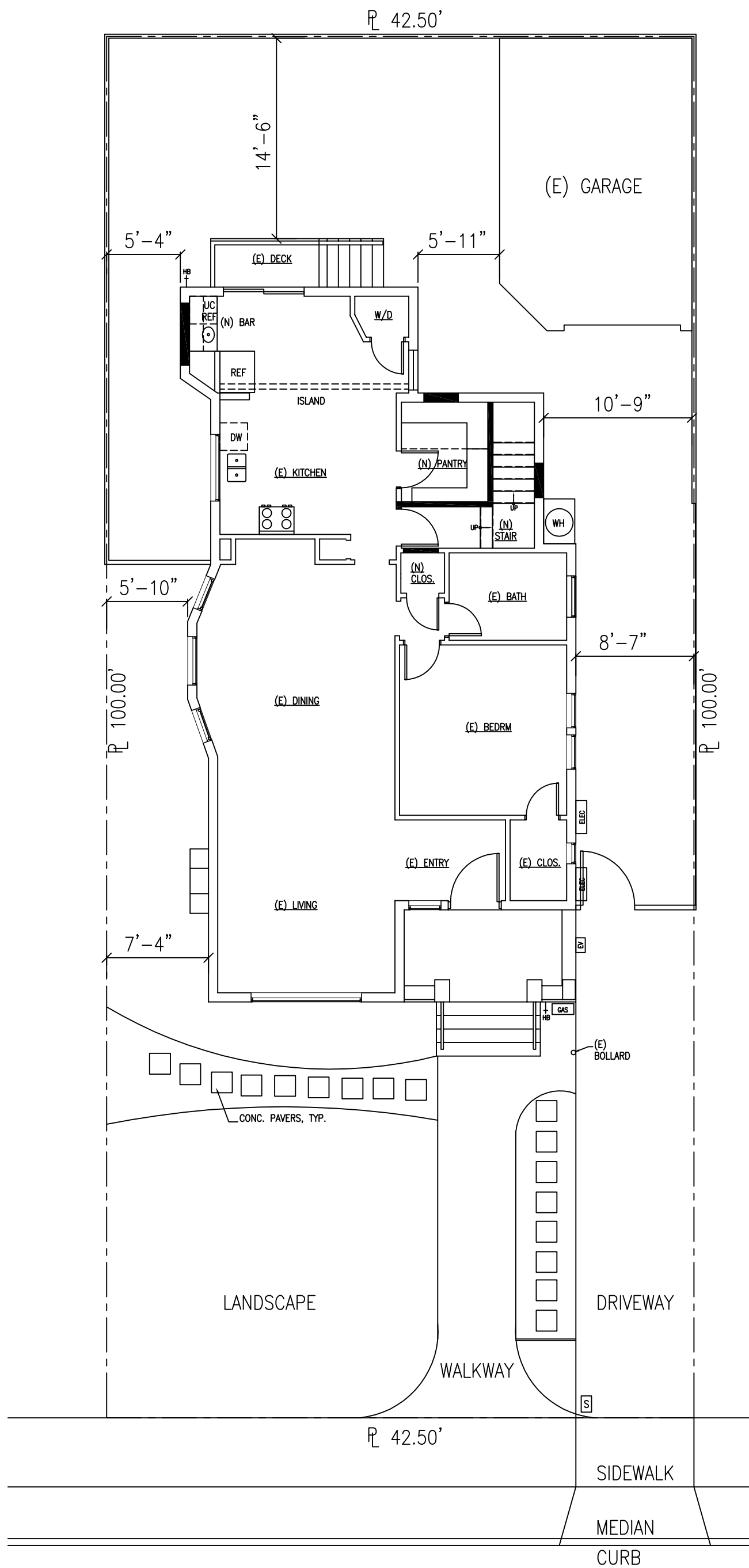
- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (N) WALL, 2X4 (OR MATCH (E)) FRAMING @ 16" OC, GYP. BD. 2X6 FRAMING @ PLUMBING WALLS. GYP BD FASTENED 6" OC AT EDGES & 12" OC FIELD.

PROVIDE STORM WATER DRAINAGE MANAGEMENT PROTECTIONS DURING CONSTRUCTION TO PREVENT EROSION & RETAIN SOIL RUNOFF ON THE SITE PER CALGREEN 4.106.2.
MIN.: FIBER ROLL 8"Ø TO R, PLACED 2-4" WITHIN GRADE. PROVIDE STAKING ON DRY SIDE OF ROLL AS NEEDED, SPACED 4' MIN. CONTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION & MAINTENANCE OF THE STORM WATER MANAGEMENT PROTECTION TO COMPLY WITH CALGREEN REQUIREMENTS.

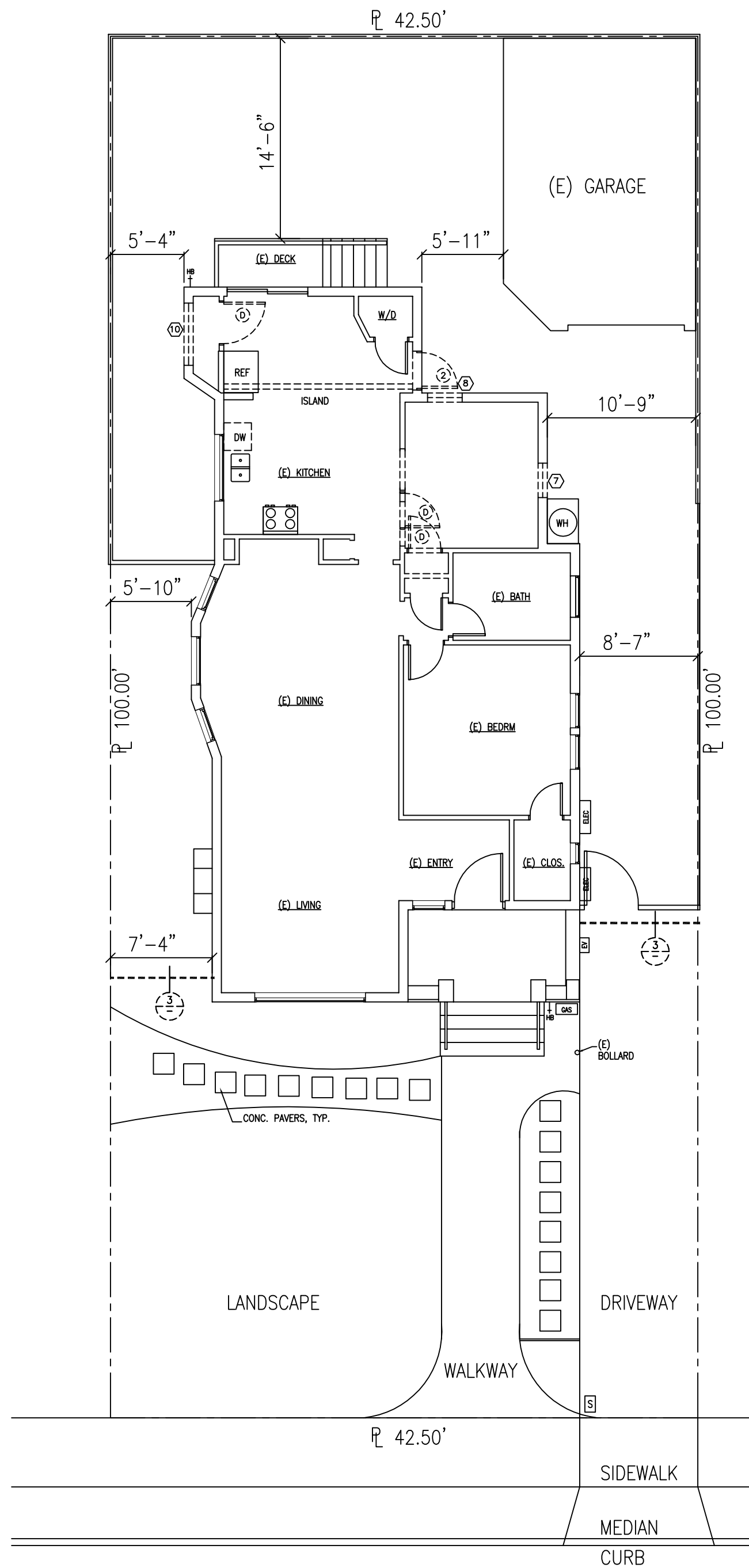
PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE, MIN 2% SLOPE TO APPD SITE DRAINAGE LOCATION. SURFACE WATER SHALL DIVERT AWAY FROM STRUCTURE & SHALL NOT ENTER BLDG PER CALGREEN 4.106.3



3 FIBER ROLL DETAIL
1 1/2"=1'-0"



2 PROPOSED SITE PLAN
1/8"=1'-0"



1 EXISTING SITE PLAN
1/8"=1'-0"



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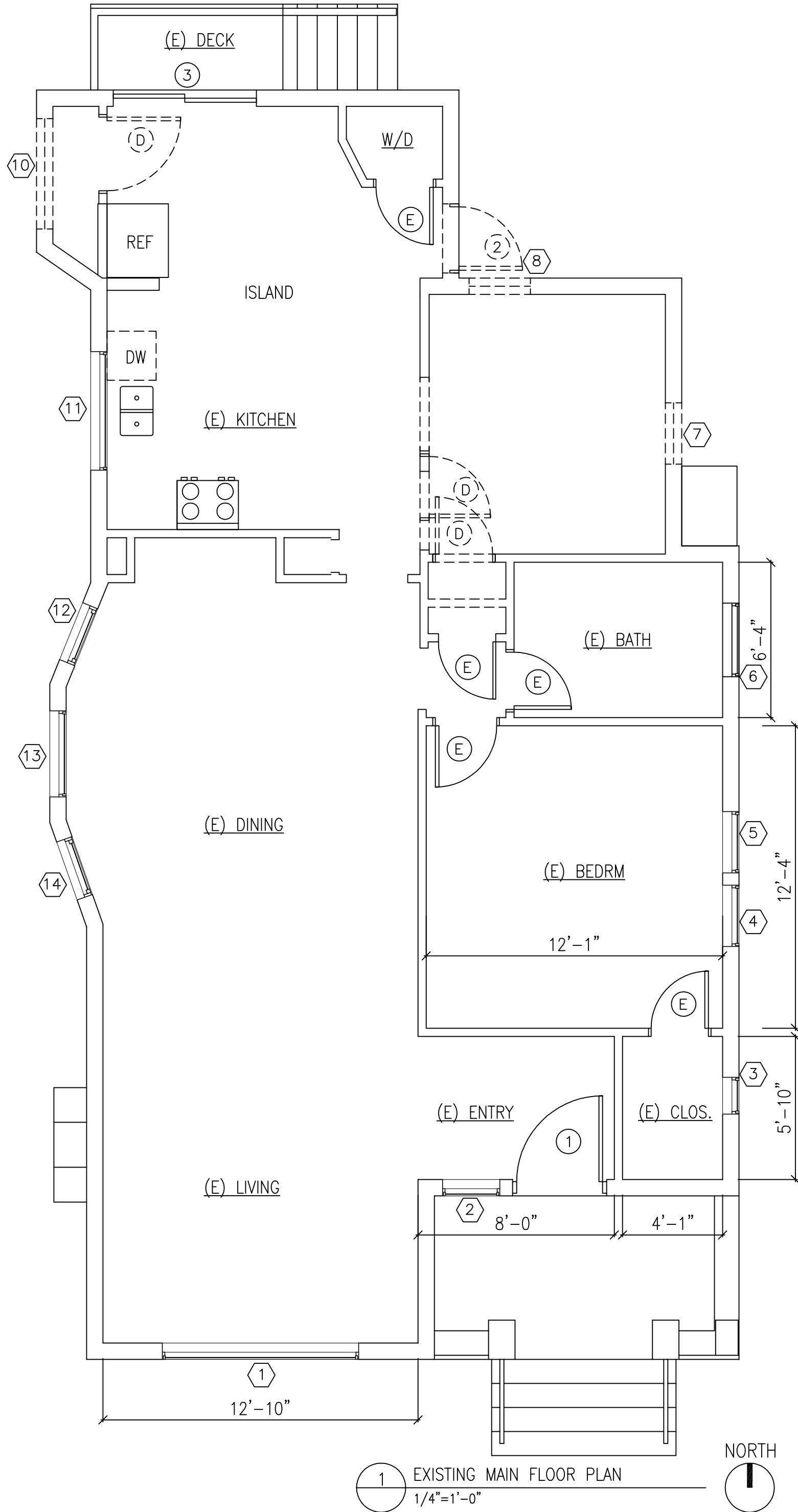
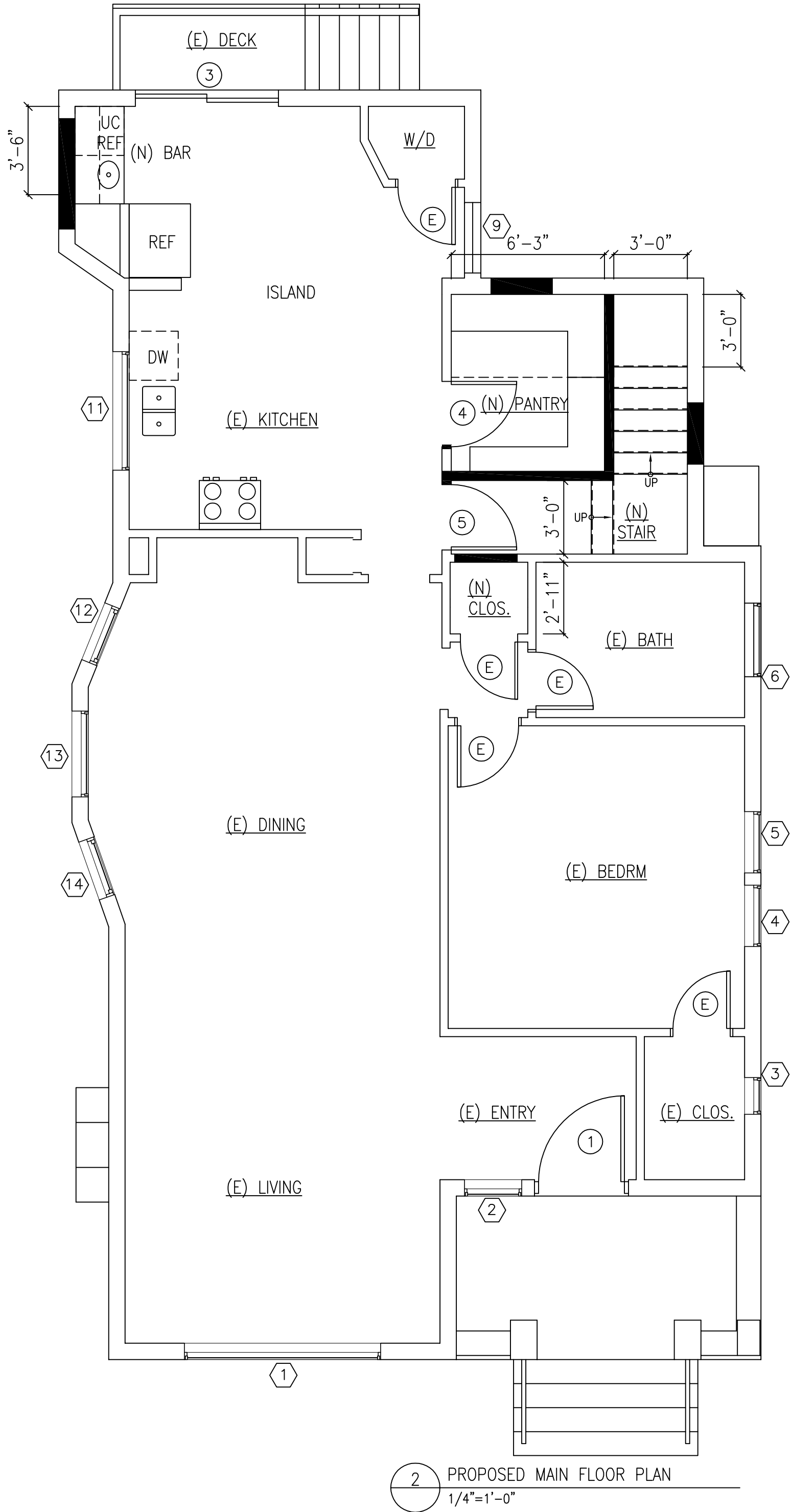
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337 SANTA CLARA AVENUE
ALAMEDA, CA 94501

SITE PLANS

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WINDOW SCHEDULE									
SYMBOL	QTY	TYPE	MATERIAL (EXT/INT)	RO W	RO HT	CLR W	CLR HT	HT. FROM FIN. FLR.	NOTE
①	(E)	DG FIXED	VINYL	—	—	8'-0"	4'-4"	2'-5"	EXISTING TO REMAIN
②	(E)	SG FIXED	WOOD	—	—	2'-4"	1'-10"	4'-11"	EXISTING TO REMAIN
③	(E)	SG DH	WOOD	—	—	1'-6"	3'-0"	3'-2"	EXISTING TO REMAIN
④	(E)	DG CSMT	VINYL	—	—	2'-6"	4'-3"	2'-7"	EXISTING TO REMAIN
⑤	(E)	DG CSMT	VINYL	—	—	2'-6"	4'-3"	2'-7"	EXISTING TO REMAIN
⑥	(E)	SG SL	ALUM.	—	—	3'-0"	3'-0"	3'-10"	EXISTING TO REMAIN
⑦	(D)	DEMO	—	—	—	2'-6"	3'-10"	—	TO BE REMOVED
⑧	(D)	DEMO	—	—	—	2'-6"	3'-10"	—	TO BE REMOVED
⑨	(N)	DG DH	FG/WD	±2'-11"	4'-9"	±2'-10"	4'-8"	±2'-7"	(N) WINDOW IN (E) FORMER DOOR FRAME
⑩	(D)	DEMO	—	—	—	4'-6"	4'-0"	—	TO BE REMOVED
⑪	(E)	DG SL	VINYL	—	—	4'-10"	3'-8"	4'-1"	EXISTING TO REMAIN
⑫	(E)	DG DH	VINYL	—	—	2'-6"	4'-3"	2'-9"	EXISTING TO REMAIN
⑬	(E)	DG DH	VINYL	—	—	2'-6"	4'-3"	2'-9"	EXISTING TO REMAIN
⑭	(E)	DG DH	VINYL	—	—	2'-6"	4'-3"	2'-9"	EXISTING TO REMAIN
WINDOW NOTES: 1. VIF ALL RO MEASUREMENT REQS. W/WINDOW MANUF. PRIOR TO CONSTRUCTION. 2. ALL REPLACEMENTS TO BE MARVIN OR APPD EQ., LOW E, DUAL GLAZE. 3. SEE FINISH NOTES FOR ADDITIONAL INFO. 4. VIF, PRIOR TO BID, ANY REOD REPAIRS OR REPLACEMENTS. 5. PROVIDE "OGEE" LUGS AND/OR TRUE DIVIDED LITES WHERE WINDOW STYLE IS TO MATCH (E). 6. NEW WINDOWS TO BE NFRC RATED. SEE T24 REPORT FOR U FACTOR AND SHGC REQUIREMENTS.									

DOOR SCHEDULE						
SYMBOL	TYPE	WIDTH	HT.	THICK	HARDWARE	NOTE
Ⓓ	DEMO DOOR	—	—	—	—	TO BE REMOVED
Ⓔ	(E) DOOR	—	—	—	—	TO REMAIN- NO CHANGES
①	(E) EXT. DOOR	3'-6"	6'-8"	1 3/4"	—	TO REMAIN- NO CHANGES
②	DEMO EXT. DOOR	2'-7"	—	—	—	TO BE REMOVED FRAME & FINISH @ AREAS AROUND (N) WINDOW
③	(E) EXT. SL GLASS DOOR PAIR	5'-10"	6'-8"	—	—	TO REMAIN- NO CHANGES
④	(N) INT. DOOR	2'-8"	6'-8"	1 3/8"	PASSAGE	SOLID CORE, 2 HINGE
⑤	(N) INT. DOOR	2'-8"	6'-8"	1 3/8"	PASSAGE	SOLID CORE, 2 HINGE
DOOR NOTES: 1. VERIFY ALL DIMS W/OWNER PRIOR TO FINAL FRAMING. 2. ALL DOOR STYLES TO BE APPD BY OWNER PRIOR TO ORDERING. 3. (N) TRIMS TO BE APPD BY OWNER.						



WALL LEGEND:

----- (E) WALL TO BE REMOVED

===== (E) WALL TO REMAIN

█ (N) WALL, 2X4 (OR MATCH (E)) FRAMING @ 16" OC, GYP. BD. 2X6 FRAMING @ PLUMBING WALLS. GYP BD FASTENED 6" OC AT EDGES & 12" OC FIELD.

NOTE:
ALL INTERIOR WALLS AND BEDROOM FLOORS TO BE INSULATED FOR SOUND REDUCTION

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Issues	<input type="checkbox"/> Revisions	△
Number	Date	Description
①	2023-12-01	PLANNING SUBMITTAL

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MAIN FLOOR
PLANS & SCHEDULES

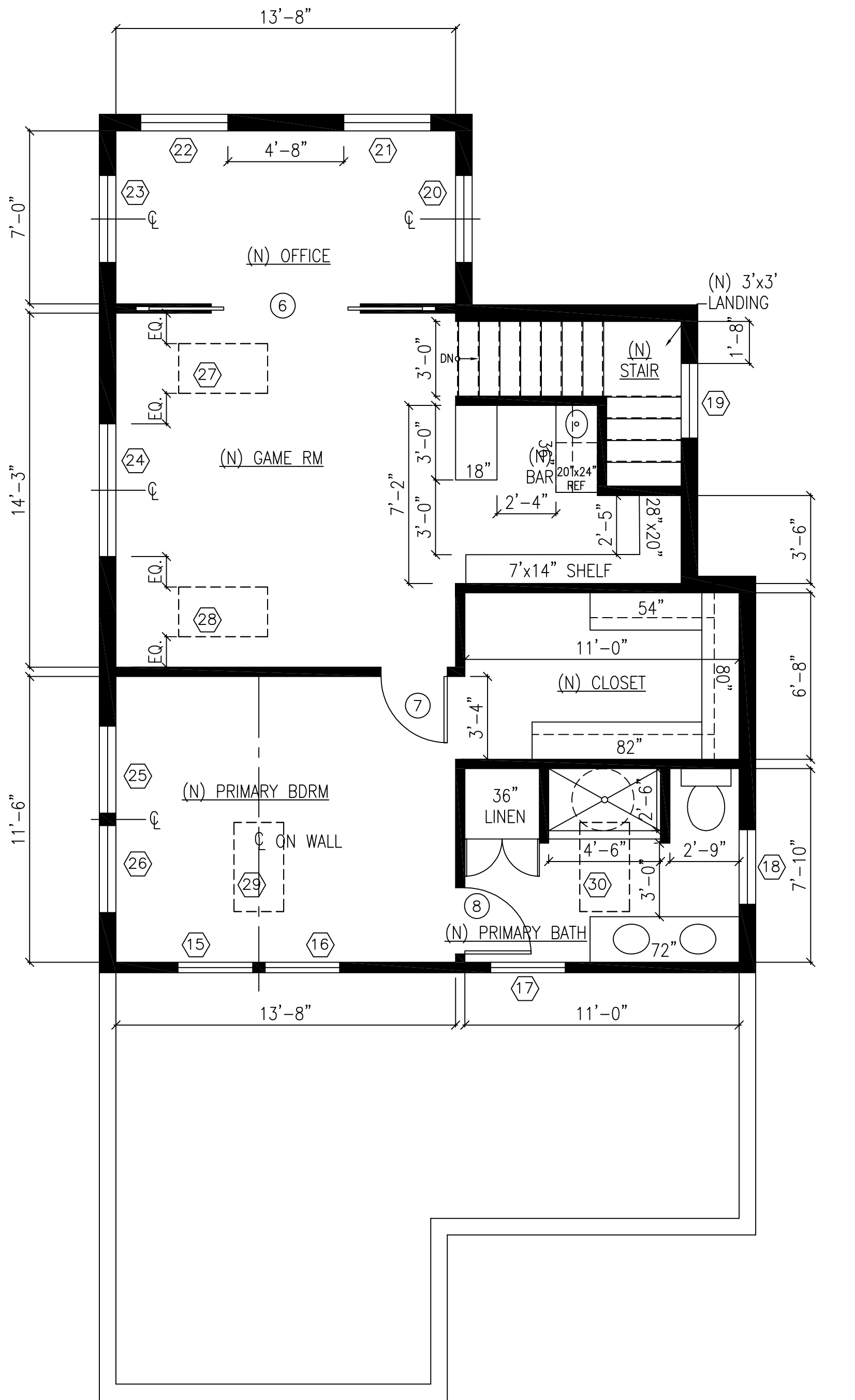
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WINDOW SCHEDULE									
SYMBOL	QTY	TYPE	MATERIAL (EXT/INT)	RO W	RO HT	CLR W	CLR HT	HT. FROM FIN. FLR.	NOTE
⬡15	(N)	DG AWN	FG/WD	3'-1"	1'-8"	3'-0"	1'-7"	5'-4"	
⬡16	(N)	DG AWN	FG/WD	3'-1"	1'-8"	3'-0"	1'-7"	5'-4"	
⬡17	(N)	DG AWN	FG/WD	3'-1"	1'-8"	3'-0"	1'-7"	5'-4"	
⬡18	(N)	DG DH	FG/WD	3'-1"	4'-9"	3'-0"	4'-8"	2'-3"	
⬡19	(N)	DG DH	FG/WD	3'-1"	6'-1"	3'-0"	6'-0"	2'-0"	TEMPERED GLASS. 2'-0" AFF @ NEAREST STAIR TREAD
⬡20	(N)	DG DH	FG/WD	3'-7"	4'-9"	3'-6"	4'-8"	2'-3"	
⬡21	(N)	DG DH	FG/WD	3'-7"	5'-2"	3'-6"	5'-1"	1'-10"	EGRESS
⬡22	(N)	DG DH	FG/WD	3'-7"	5'-2"	3'-6"	5'-1"	1'-10"	EGRESS
⬡23	(N)	DG DH	FG/WD	3'-7"	4'-9"	3'-6"	4'-8"	2'-3"	
⬡24	(N)	DG DBL CSMT	FG/WD	5'-5"	4'-1"	5'-4"	4'-0"	2'-9"	EGRESS
⬡25	(N)	DG DH	FG/WD	3'-7"	5'-2"	3'-6"	5'-1"	1'-10"	EGRESS
⬡26	(N)	DG DH	FG/WD	3'-7"	5'-2"	3'-6"	5'-1"	1'-10"	EGRESS
⬡27	(N)	SKYLT	MTL	-	-	1'-10"	3'-10"	-	VELUX DECK MTD. VSE C06 W/SCREEN (OR EQ.)
⬡28	(N)	SKYLT	MTL	-	-	-	3'-10"	-	VELUX DECK MTD. VSE C06 W/SCREEN (OR EQ.)
⬡29	(N)	SKYLT	MTL	-	-	-	3'-10"	-	VELUX DECK MTD. VSE C06 W/SCREEN (OR EQ.)
⬡30	(N)	SKYLT	MTL	-	-	-	3'-10"	-	VELUX DECK MTD. VSE C06 W/SCREEN (OR EQ.)
WINDOW NOTES: 1. VIF ALL RO MEASUREMENT REQS. W/WINDOW MANUF. PRIOR TO CONSTRUCTION. 2. ALL REPLACEMENTS TO BE MARVIN OR APPD EQ., LOW E, DUAL GLAZE. 3. SEE FINISH NOTES FOR ADDITIONAL INFO. 4. VIF, PRIOR TO BID, ANY REQD REPAIRS OR REPLACEMENTS. 5. PROVIDE "OGEE" LUGS AND/OR TRUE DIVIDED LITES WHERE WINDOW STYLE IS TO MATCH (E). 6. NEW WINDOWS TO BE NFRC RATED. SEE T24 REPORT FOR U FACTOR AND SHGC REQUIREMENTS.									

DOOR SCHEDULE						
SYMBOL	TYPE	WIDTH	HT.	THICK	HARDWARE	NOTE
⬢6	(N) INT. SC POCKET DR PR	6'-0"	6'-8"	1 3/8"	PULLS	OWNER APP'D. STYLE W/TRACK
⬢7	(N) SC INT. DR	2'-8"	6'-8"	1 3/8"	PRIVACY	2 HINGE OWNER APP'D. STYLE
⬢8	(N) SC INT. DR	2'-8"	6'-8"	1 3/8"	PRIVACY	2 HINGE OWNER APP'D. STYLE

DOOR NOTES: 1. VERIFY ALL DIMS W/OWNER PRIOR TO FINAL FRAMING. 2. ALL DOOR STYLES TO BE APPD BY OWNER PRIOR TO ORDERING. 3. (N) TRIMS TO BE APPD BY OWNER.						
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1 PROPOSED UPPER FLOOR PLAN
1/4"=1'-0"

WALL LEGEND:
----- (E) WALL TO BE REMOVED
===== (E) WALL TO REMAIN

█ (N) WALL, 2X4 (OR MATCH (E)) FRAMING
@ 16" OC, GYP. BD, 2X6 FRAMING @
PLUMBING WALLS. GYP BD FASTENED 6"
OC AT EDGES & 12" OC FIELD.

NOTE:
ALL INTERIOR WALLS AND BEDROOM FLOORS TO
BE INSULATED FOR SOUND REDUCTION

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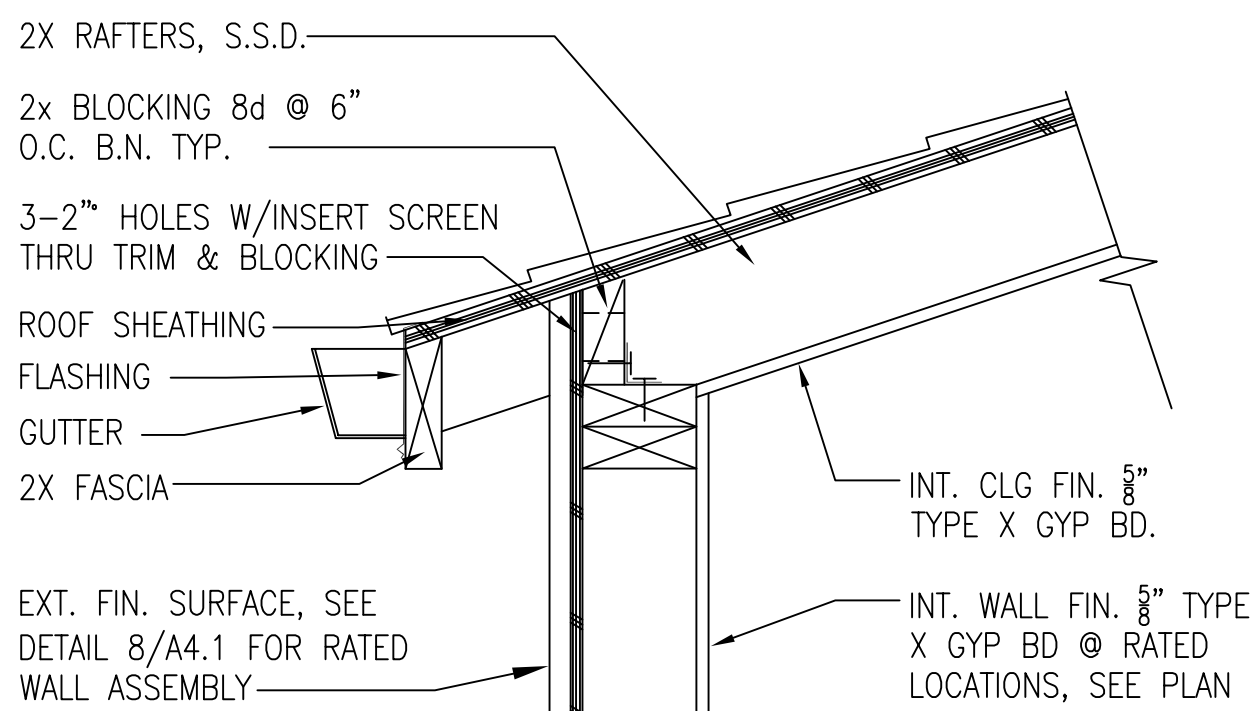
RESIDENTIAL
RENOVATION

Project Number 2023-744654	Drawn By BRADY DILLON	Checked By DH
Issues <input type="checkbox"/> Revisions		
Number	Date	Description
1	2023-12-01	PLANNING SUBMITTAL

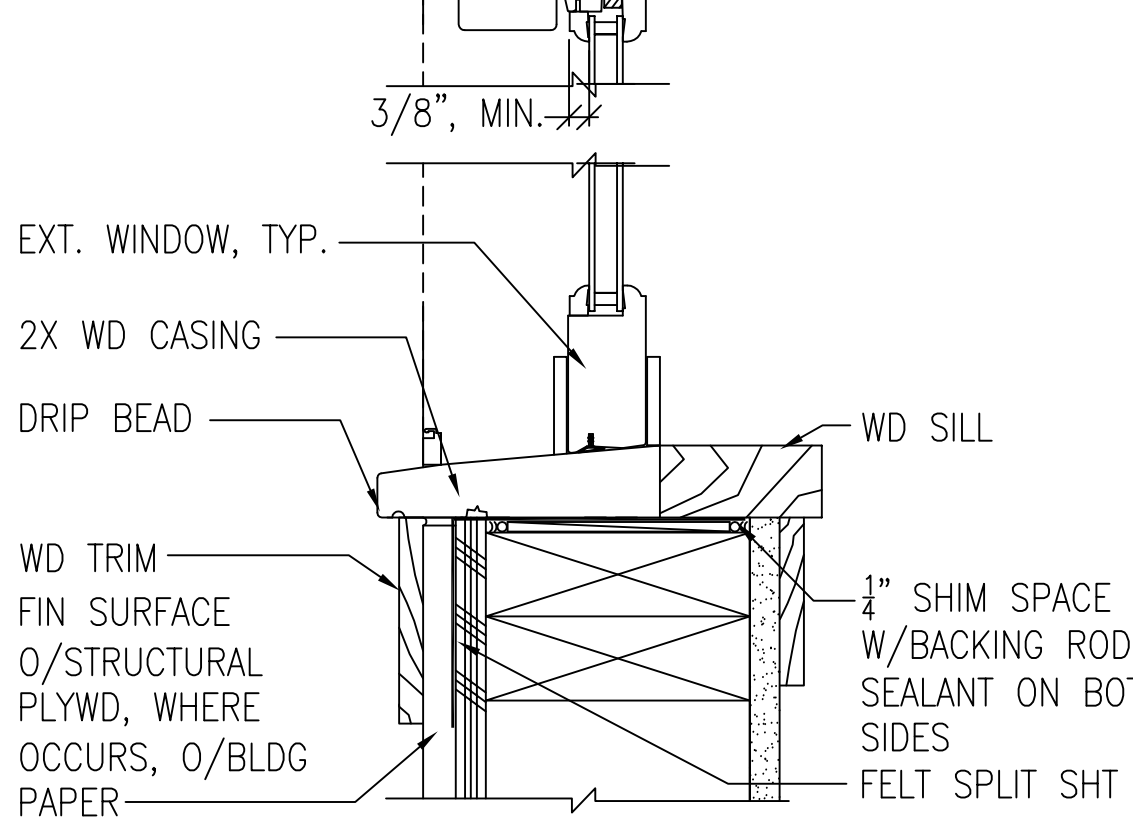
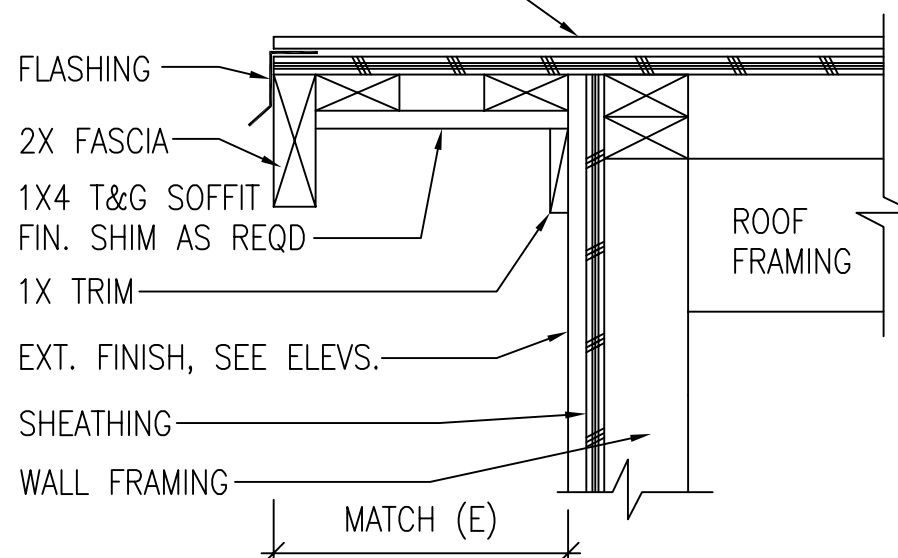
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PROPOSED
UPPER FLOOR
PLAN & SCHEDULES

A2.1



NOTE: USE 3/4" PLYWD. @ OVERHANGS
COMP. ROOF



SEE MANUF. SPEC. FOR ALL DETAILS & INSTALL INSTRUCTIONS.

INSULATED GL PANE W/LOW-E COATING

THERMAL BREAK GASKET W/INTEGRAL CONDENSATION GUTTER AND CONDENSATE WEEP HOLES AT CORNERS

STAINLESS STL WD SCREWS

ROOF UNDERLAYMENT

SHEATHING, S.S.D.

MANUF. SEALANT

MANUF. MTL FRAME

MANUF. FLASHING W/ INTEGRAL CANT STRIP

ROOF FIN. SURFACE

SPRAY INSULATION. SEE ENERGY REPORT

5/8" PLYWD.

INT. FINISH. (GYP. BD SHOWN)

2x FRAMING, S.S.D.

1/2" X 3" WD TRIM

1/2" GYP. BD

& NOTES:
(E) ROOF. (E) X SF OF
F VENT REQD
VENT OR APPD EQ.
X SF EA VENT= X VENTS

(N) ATTIC AREA: $X/150$ SF=X SF OF VENT
REQD
 $12''\phi$ ALUM AURA VENT OR APPD EQ.
NET FREE AREA= .785 SF EA VENT= X VENTS

REVIEW (E) VENTS & MODIFY (N) VENT
REQUIREMENT AS NEEDED.

SEE PLAN FOR APPROX LOCATIONS. FINAL
LOCATIONS TBD BY A ROOF INSTALLER.

1. ATTIC VENTILATION
 - a. 1" MIN AIRSPACE BETWEEN TOP OF INSULATION & UNDERSIDE OF ROOF SHEATHING.
 - b. CORROSION RESISTANT SCREENING, MIN 1/8" MESH, MAX 1/4" MESH AT UNDERSIDE OF SOFFITS.
 - c. ROOF VENTILATION: INSTALL ROOF VENTS TO PROVIDE 1 SF OF FREE OPENING PER 150 SF, A MIN OF 3'-0" ABOVE SOFFIT VENTS. X SF OF (N) ROOF=X SF OF VENT=X
2. VENTS AT ROOF TO BE MIN. 10' AWAY AND 3' ABOVE OPERABLE SKYLIGHTS.
3. PROVIDE ATTIC ACCESS 22"x30" w/30" MIN HEADRM. LOCATION TO BE APPD BY OWNFR.

WALL LEGEND:

----- (E) WALL TO BE REMOVED

===== (E) WALL TO REMAIN

Professional Engineer Seal for Daniel H. Hogg, State of California, License No. C-30030, Expires 08-31-2025.

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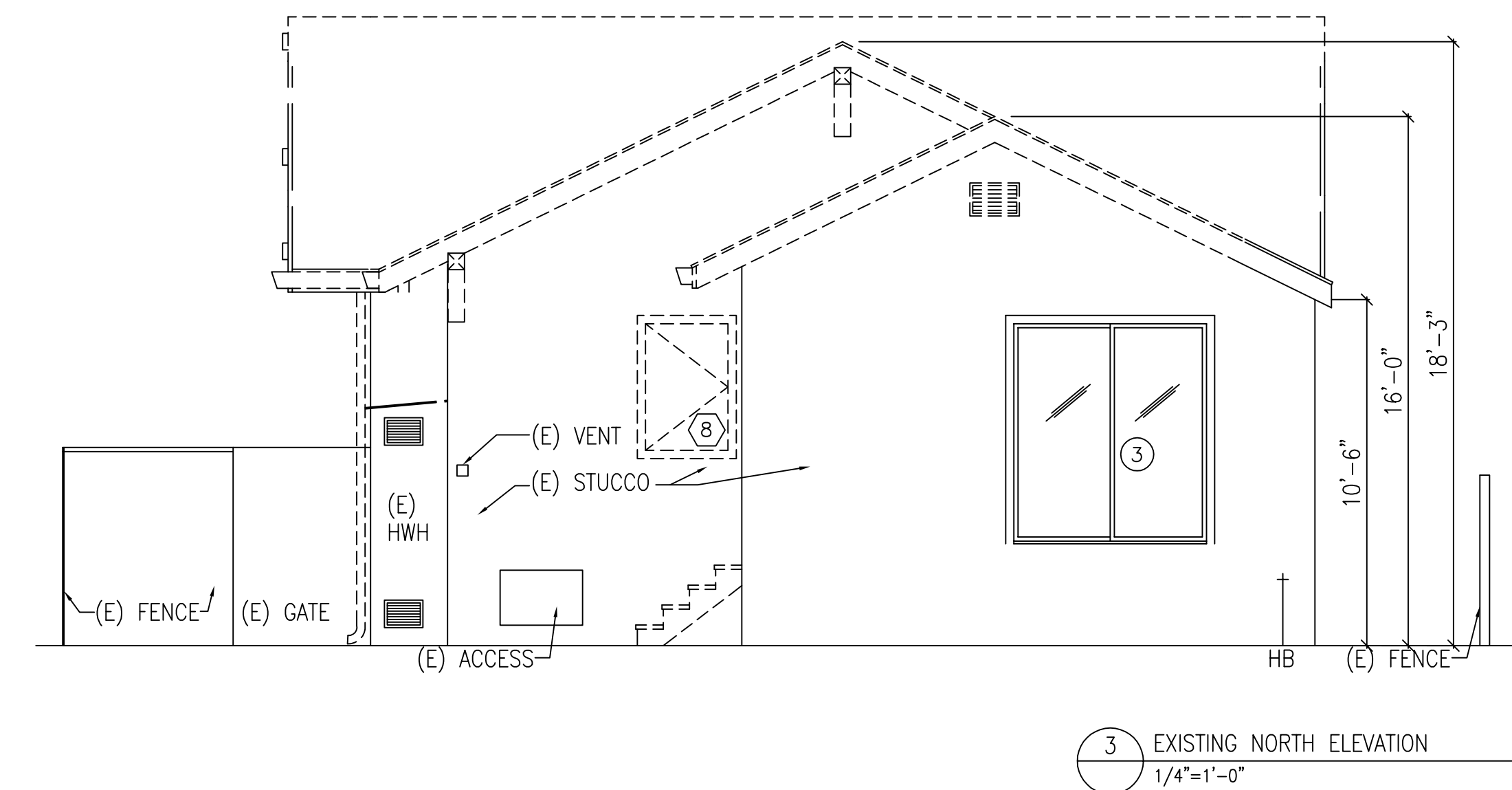
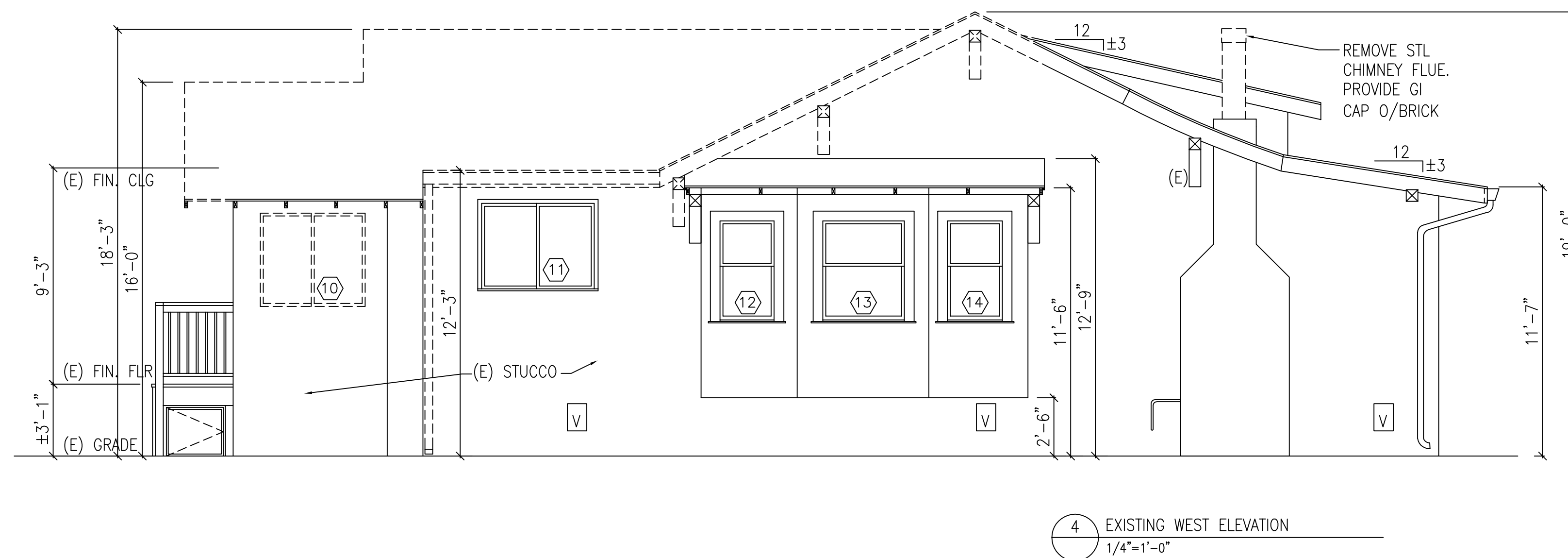
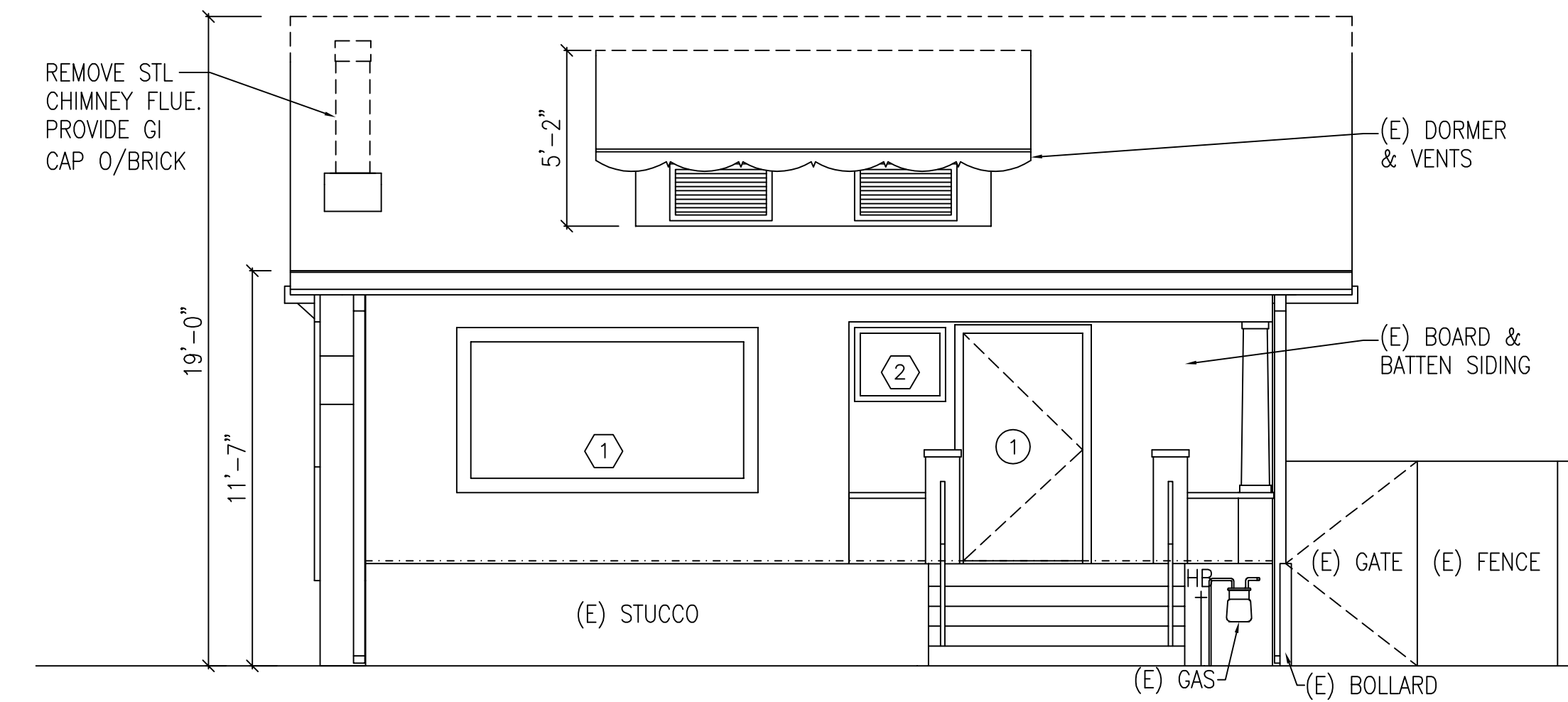
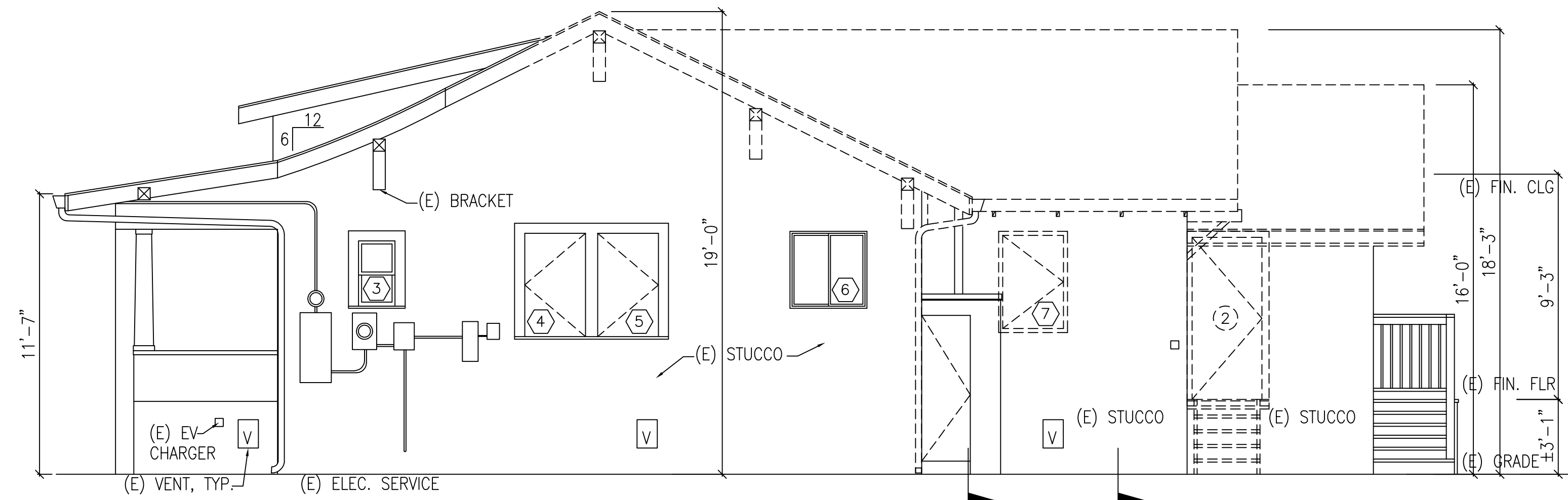
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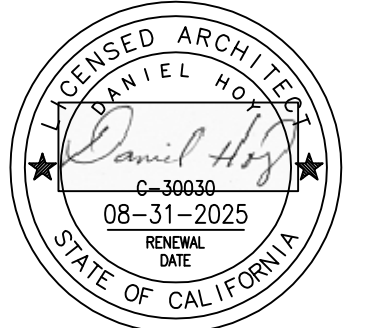
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ROOF PLANS & DETAILS

A2.2



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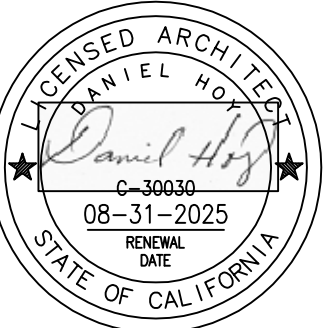
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EXISTING
EXTERIOR
ELEVATIONS

A3.0

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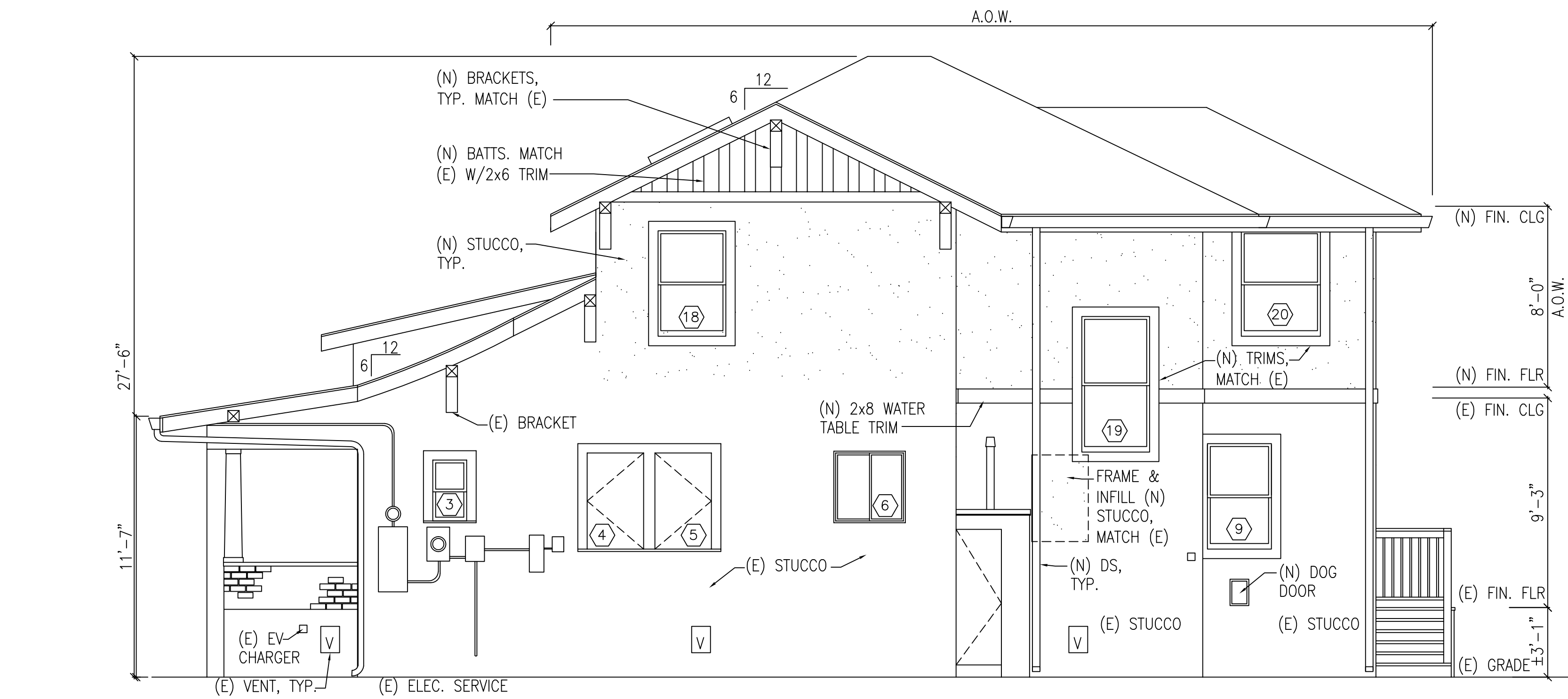
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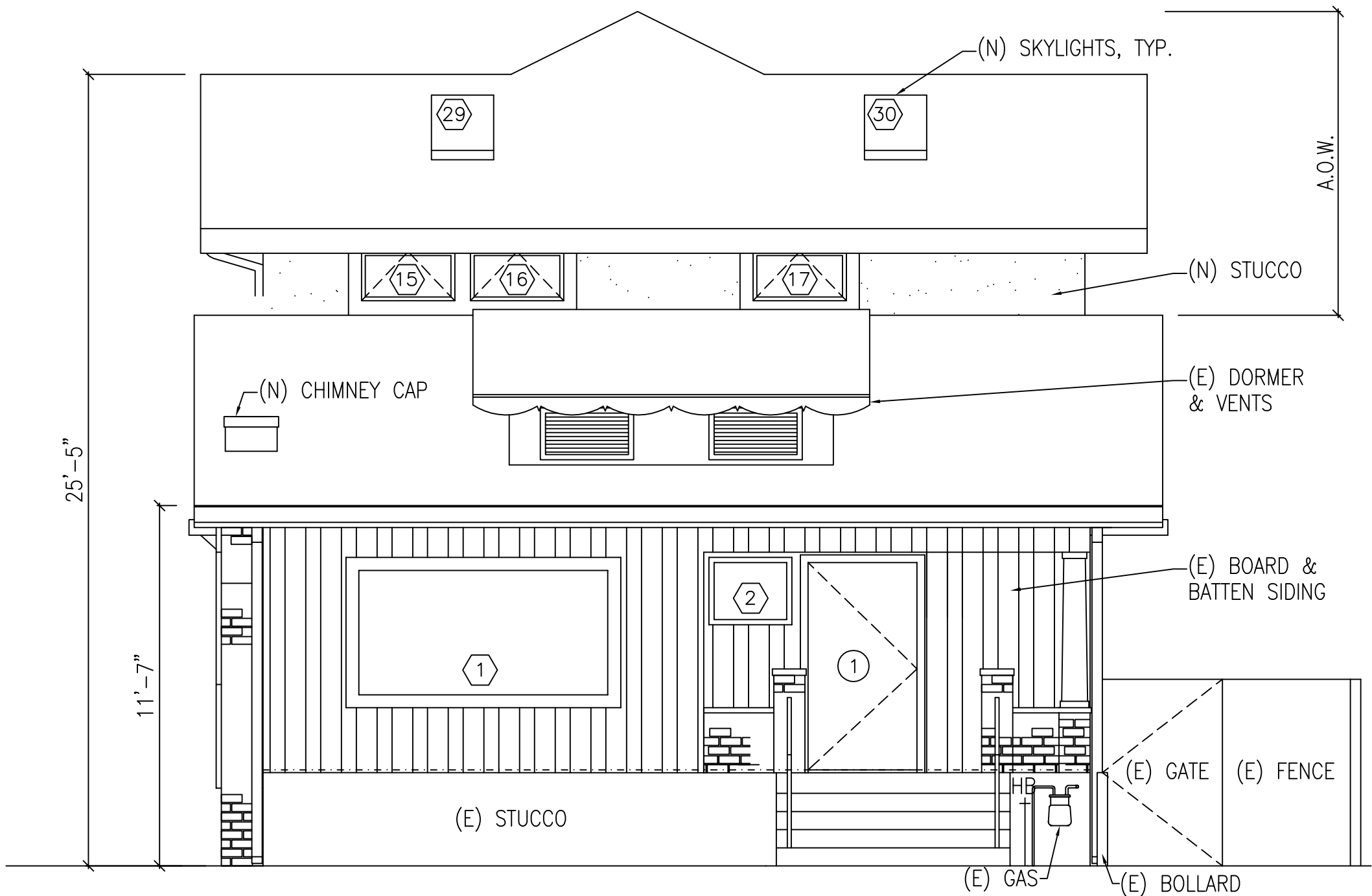
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PROPOSED
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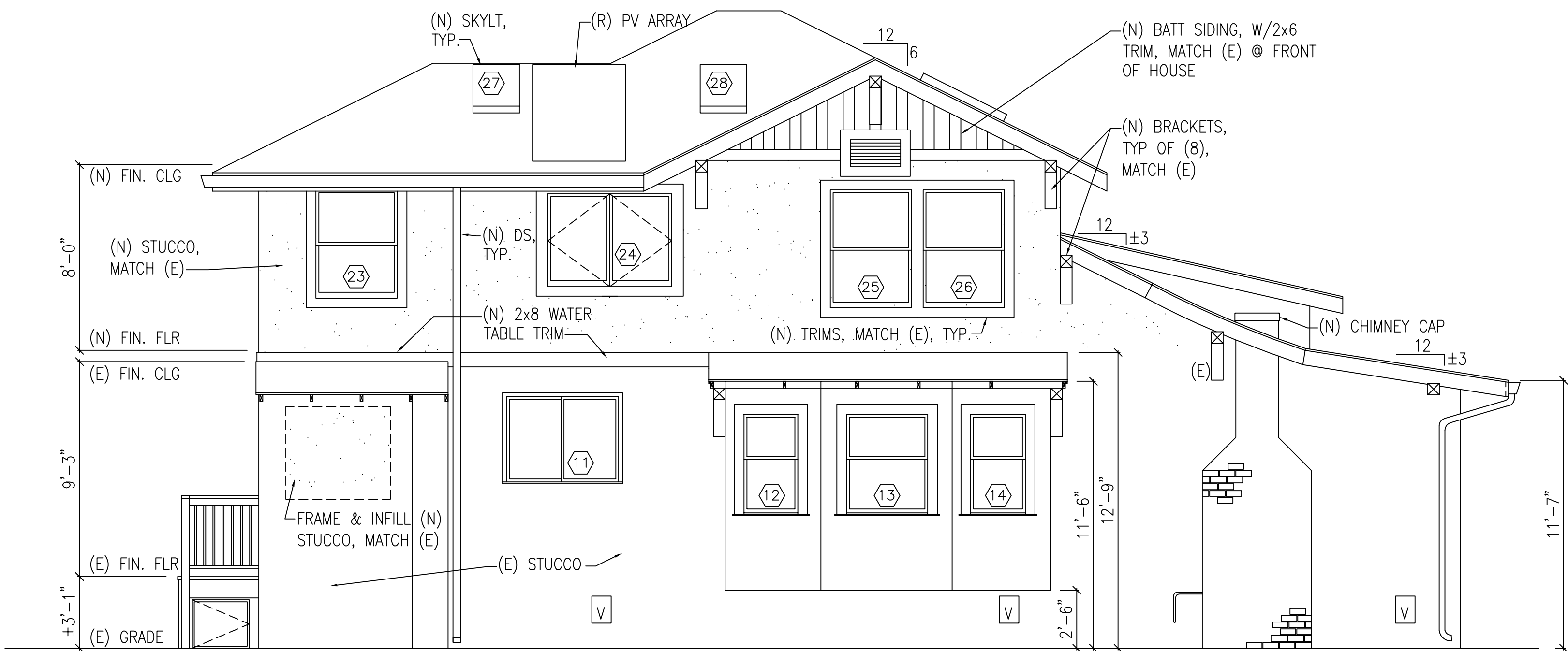
A3.1



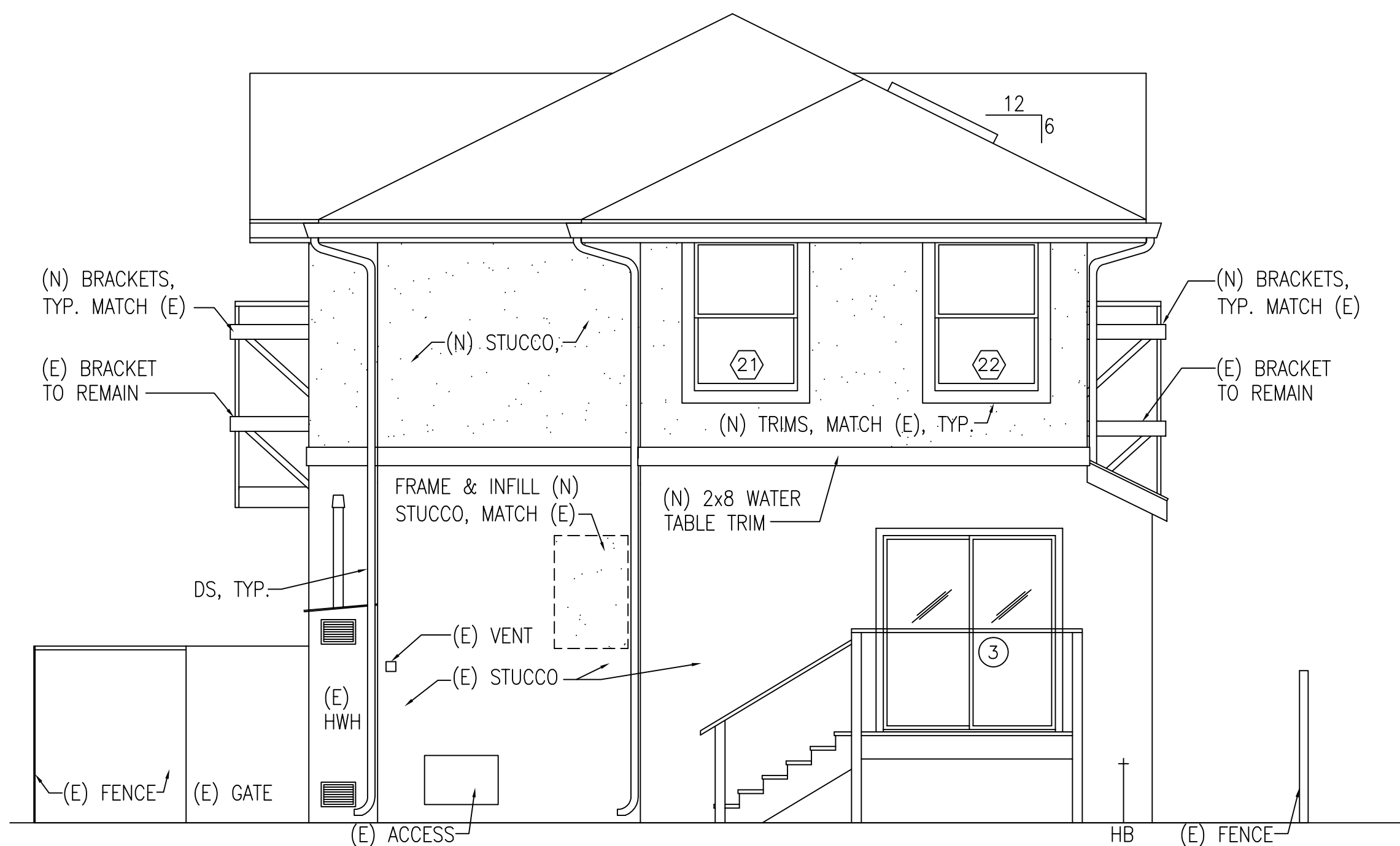
2 PROPOSED EAST ELEVATION
1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



4 PROPOSED WEST ELEVATION
1/4"=1'-0"



3 PROPOSED NORTH ELEVATION
1/4"=1'-0"

