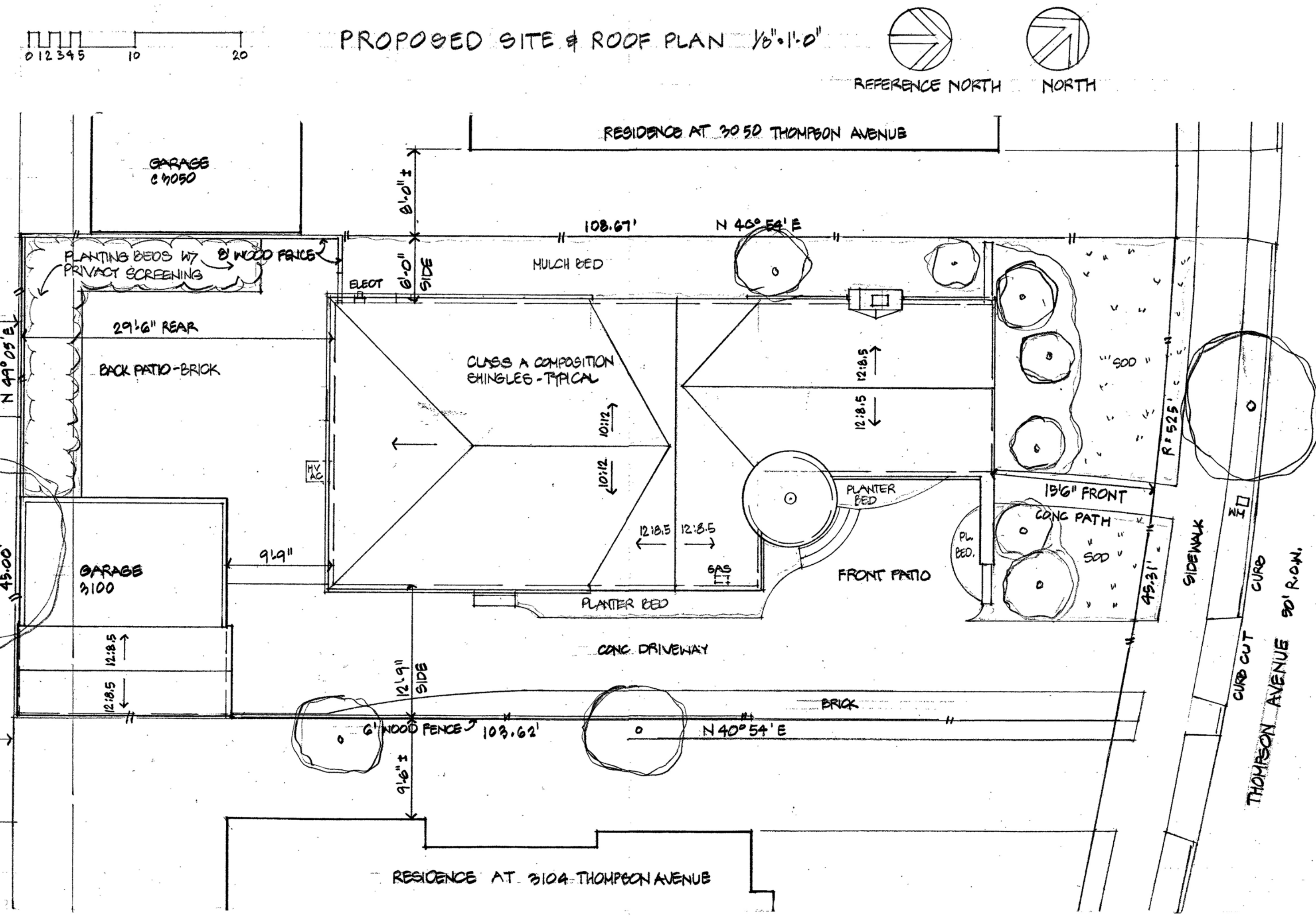
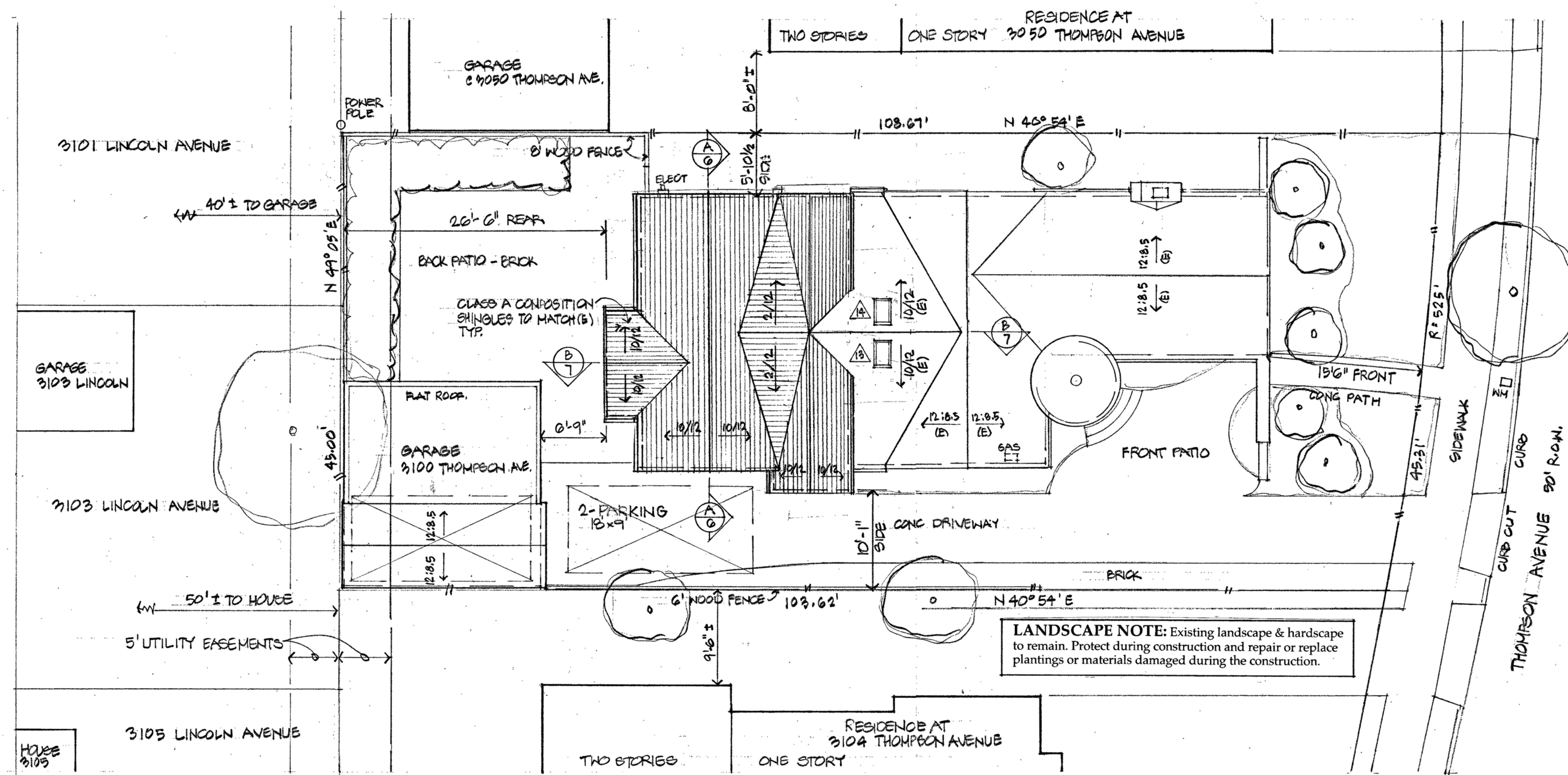
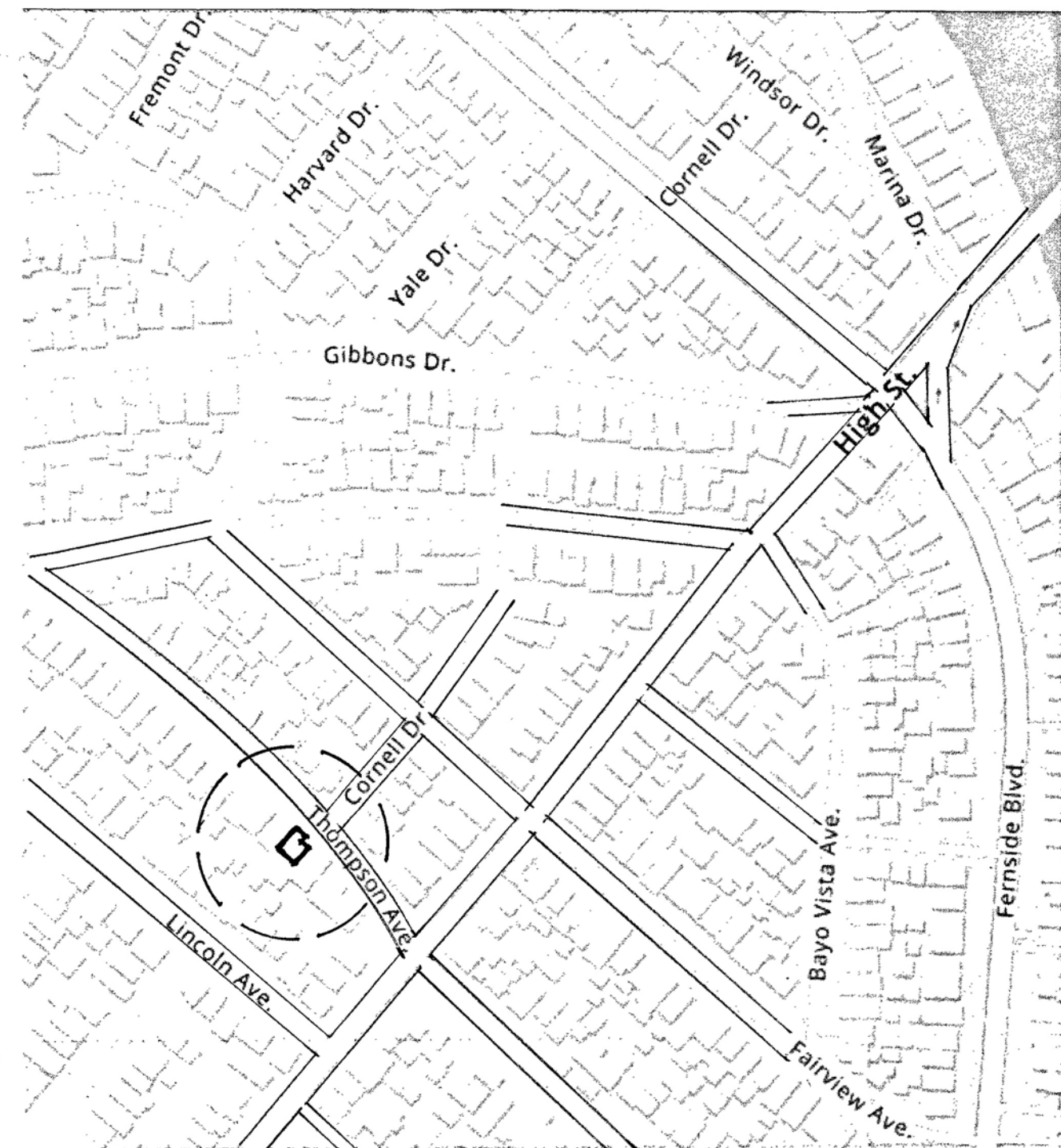
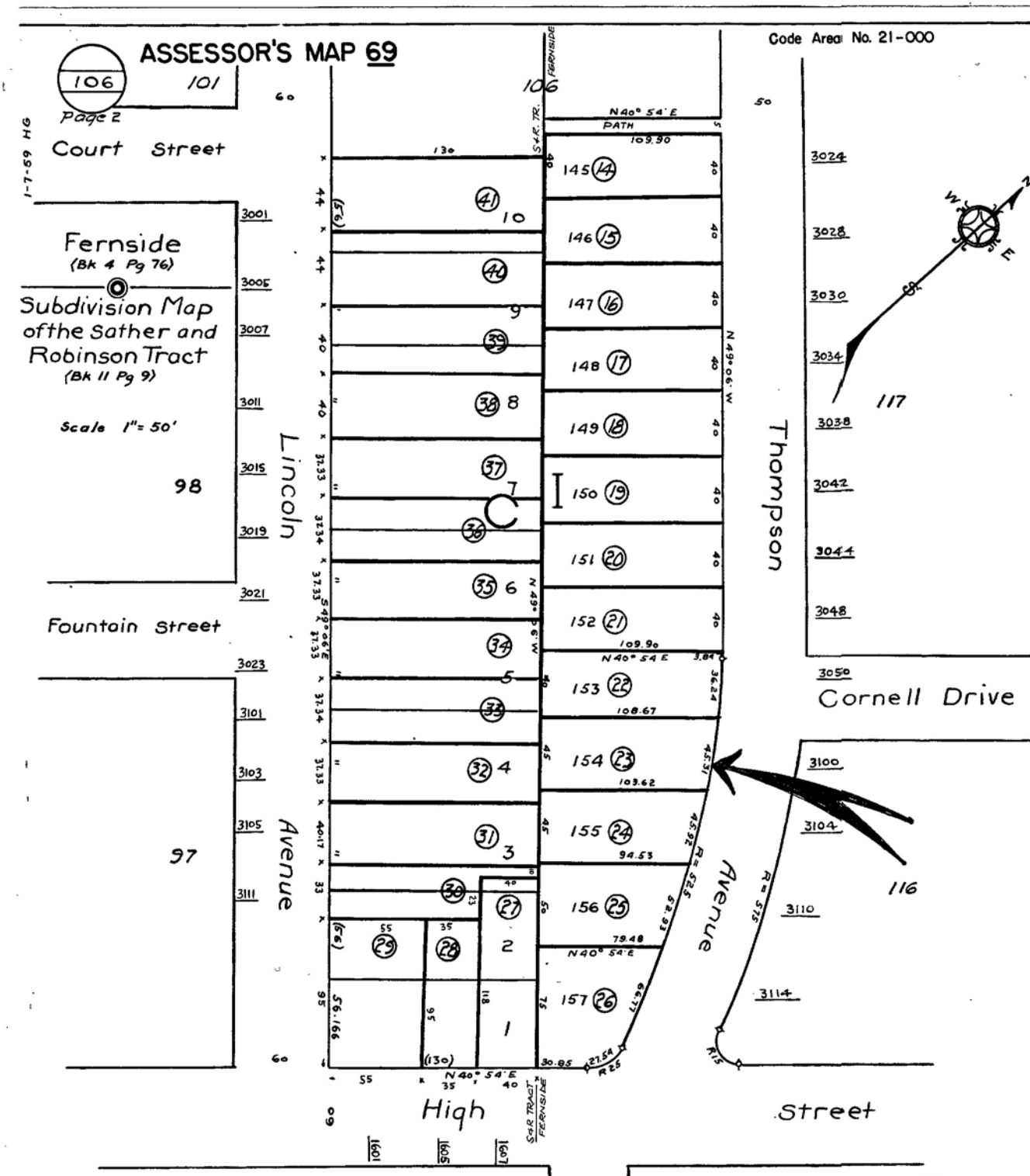


Project Address: 9100 THOMPSON AVENUE

ZONING COMPLIANCE FOR RESIDENTIAL DISTRICT R-1				
Categories	Standard	Existing	Proposed	✓
Total lot area	5,000	4770	NO CHANGE	
Lot depth	100'	103.62	NO CHANGE	
Lot width	50'	45	NO CHANGE	
Total floor area in the building	---	1391	2233	REVI
Main building lot coverage including attached/detached garage (%)	---	27.6%	44.6%	REVI
Front yard setback	---	15'-6"	NO CHANGE	
Rear yard setback	---	29'-6"	26'-6"	REVI
Left side yard setback	5'	12'-9"	10'-1"	REVI
Right side yard setback	---	6'-0"	5'-10 1/2"	REVI
Street side yard setback	10'	NA	---	
Maximum building height	---	25'-3"	26'-3"	REVI
Separation between main buildings	20'	NA	---	
Accessory building size	---	407	NO CHANGE	
Separation between main/accessory building	Min. 6'	9'-9"	6'-6"	REVI
Height of accessory building	---	14'-3"	NO CHANGE	
Number of off-street parking spaces	No Minimum	2	NO CHANGE	
Driveway width	Min. 8.5'	9'-4"	NO CHANGE	
Total Usable Open Space*				
Common open space				
Private open space (ground floor)	Min. 60 sf			
Private open space (upper floor)	Min. 120 sf			



PROJECT DATA:
JOHN & DANIELE DESIMONE
3100 THOMPSON AVENUE
ALAMEDA, CA 94501
310-989-6011
jdesimone@yahoo.com

APN: 069 0106 023 00
ZONE: R-1
LOT SIZE: 4770 S.F.

FLOOR AREA: 1391 S.F. (EXISTING) / 2233 S.F. (PROPOSED)
(ATTIC ADDITION 877 S.F.)

GARAGE AREA: 407 S.F. / NO CHANGE
FRONT YARD: 15' 6" / NO CHANGE
RIGHT SIDEYARD: 6' 0" / 5' 10-1/2"
LEFT SIDEYARD: 12' 9" / 10' 1"
REAR YARD: 29' 6" / 26' 6"
HEIGHT: 25' 3" / 26' 3"
PARKING: 1 @ gar. 1 @ drive / NO CHANGE
LOT COV.: 1804 S.F. / 1844 S.F.

SCOPE OF WORK:
NEW ATTIC BEDROOM, BATH, LANDING, LAUNDRY & STAIRWAY. REMODEL MAIN FLOOR BEDROOMS.

BUILDING INFORMATION:
OCCUPANCY: R-3
BUILDING TYPE: V-B
SPRINKLERED: NO

BUILDING CODES:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STDS'S
including all city amendments

PARTIES INVOLVED:
ARCHITECT: JARVIS ARCHITECTS, INC.
5278 COLLEGE AVE
OAKLAND, CA 94618
510.654.6255
CONTACT: ROBIN PENNELL
rpennell@jarvisarchitects.com

- DRAWING INDEX:**
- 1 SITE & ROOF PLANS, PROJECT DATA
 - 2 MAIN FLOOR PLANS - EXIST. & PROPOSED
 - 3 ATTIC FLOOR PLANS - EXIST. & PROPOSED
 - 4 SOUTH & EAST ELEV. - EXIST. & PROPOSED
 - 5 NORTH & WEST ELEV. DOOR / WINDOW SCHEDULES
 - 6 BUILDING SECTION A & MASSING DIAGRAMS
 - 7 BUILDING SECTION B
 - 8 PHOTOGRAPHS OF THE EXISTING HOME



PLANNING REV#1 10 JULY 2025
PLANNING SUBMITTAL 23 APRIL 2025

Bedroom & Bath Addition
JOHN & DANIELE DESIMONE
3100 THOMPSON AVENUE
ALAMEDA CA 94501

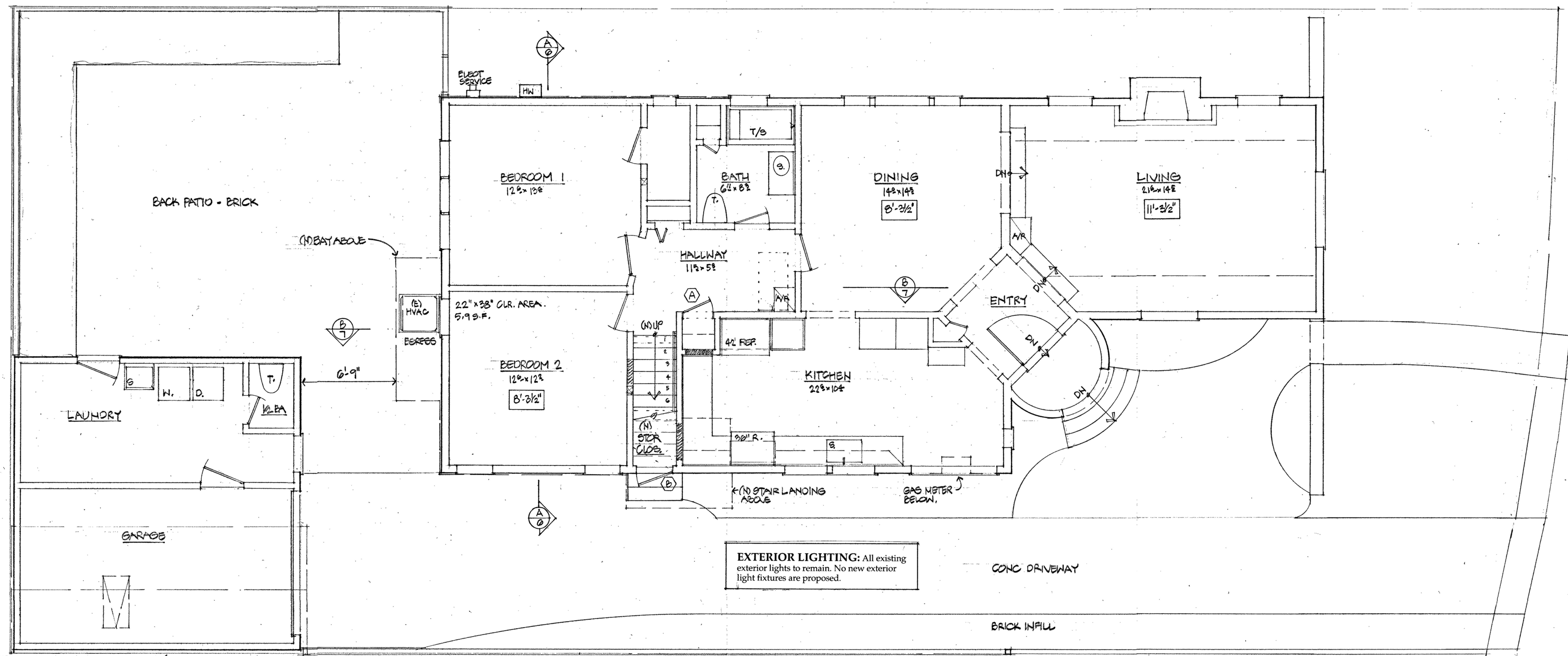
date
drawn by

Jarvis architects inc.

5278 College Avenue (510) 654-6255
Oakland, California
94618-1415

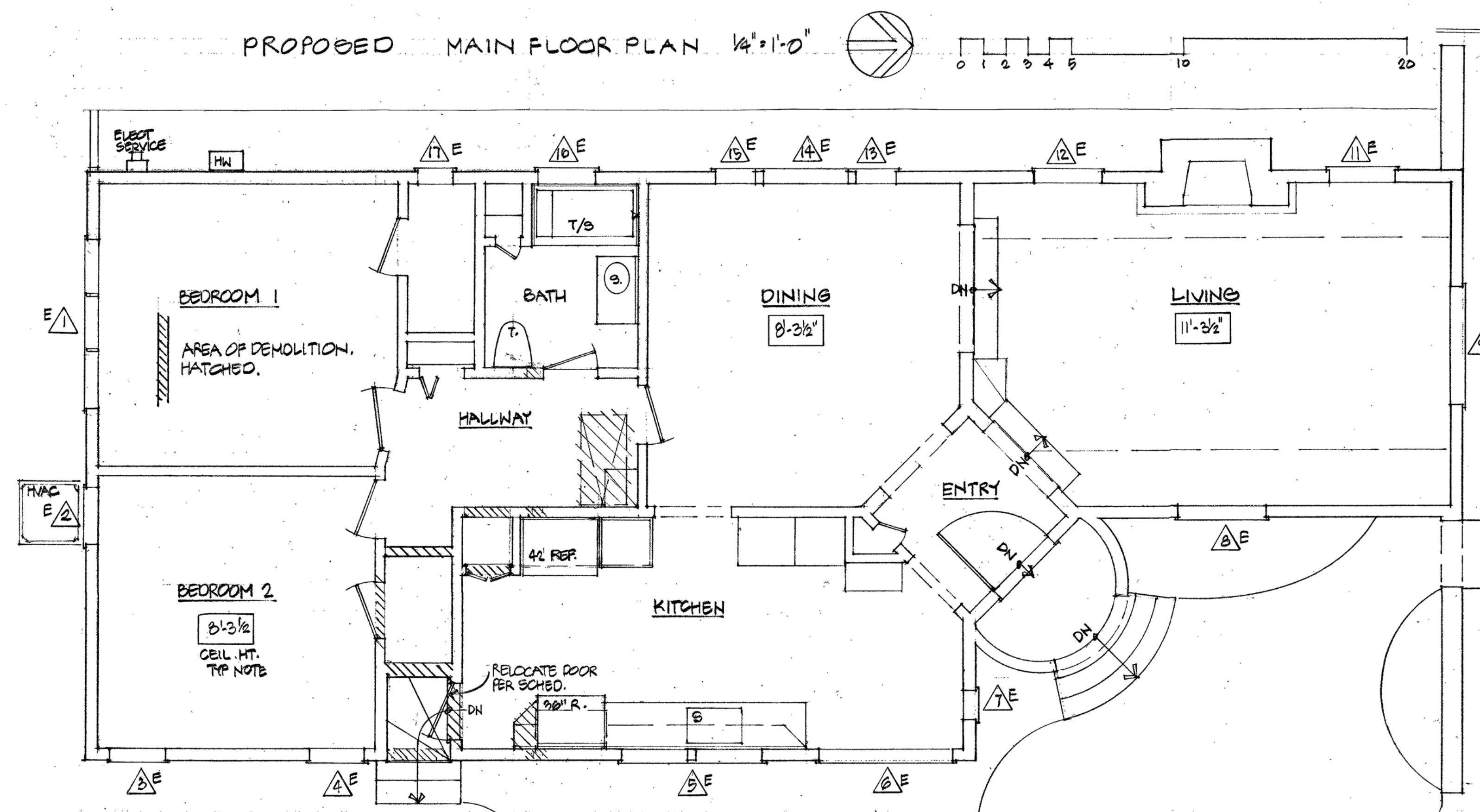
SITE & ROOF PLANS
PROJECT INFORMATION

sheet
1
job number
2426



SHEET LEGEND

- EXISTING WALL
- REMOVED WALL
- NEW WALL
- SECTION KEY
- WINDOW KEY
- DOOR KEY
- PLUMBING KEY
- DUPLEX OUTLET
- QUAD OUTLET
- CEILING LIGHT
- RECESSED LIGHT
- WALL SCONCE
- UNDERCAB LIGHT
- SWITCH
- DIMMER SWITCH
- VACANCY SENSOR
- SMOKE ALARM
- CO ALARM
- FAN OR FAN/LIGHT
- HUMIDISTAT
- PHOTOCEL
- MOTION SENSOR
- TELEPHONE
- CABLE
- DATA
- FLOOR REGISTER
- WALL REGISTER
- CEILING REGISTER
- HOSE BIBB
- DRYER VENT
- GAS



PLANNING SUBMITTAL REV#-1

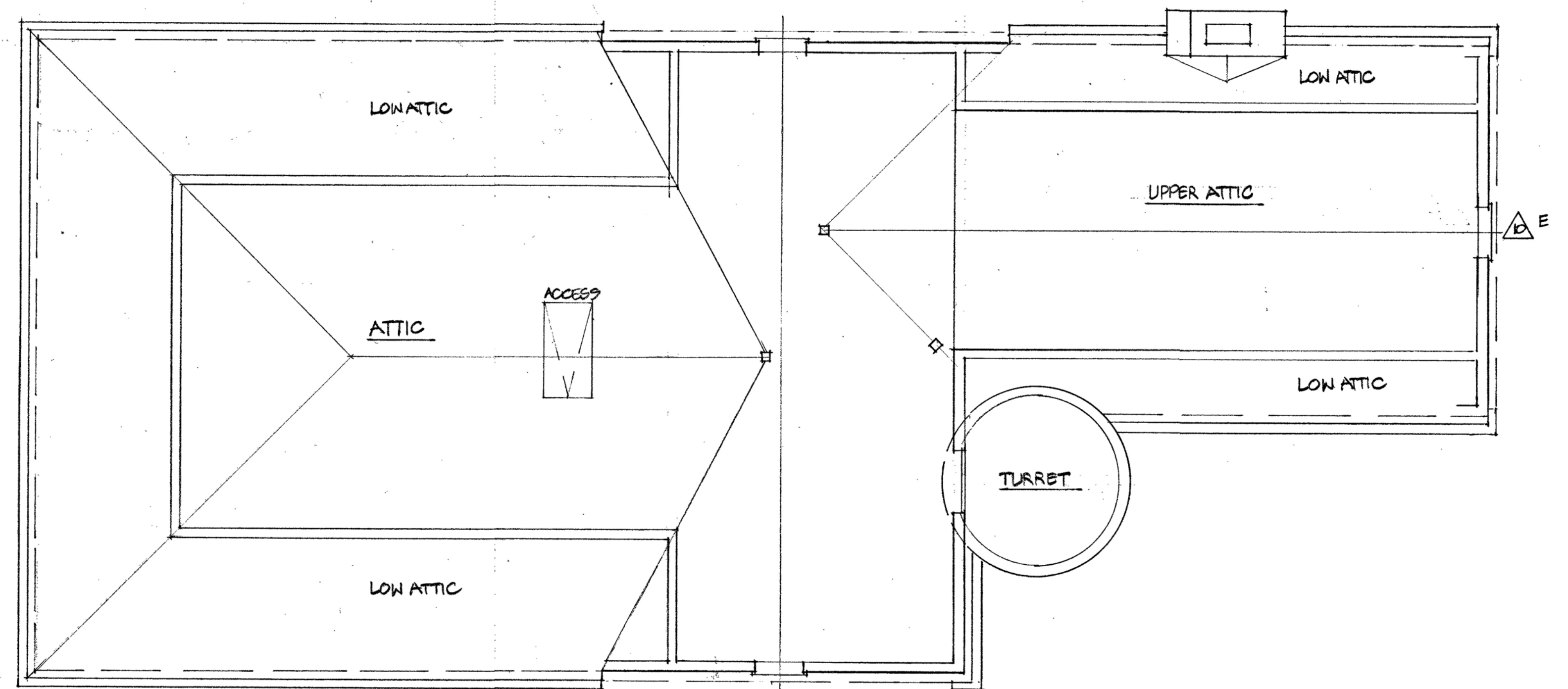
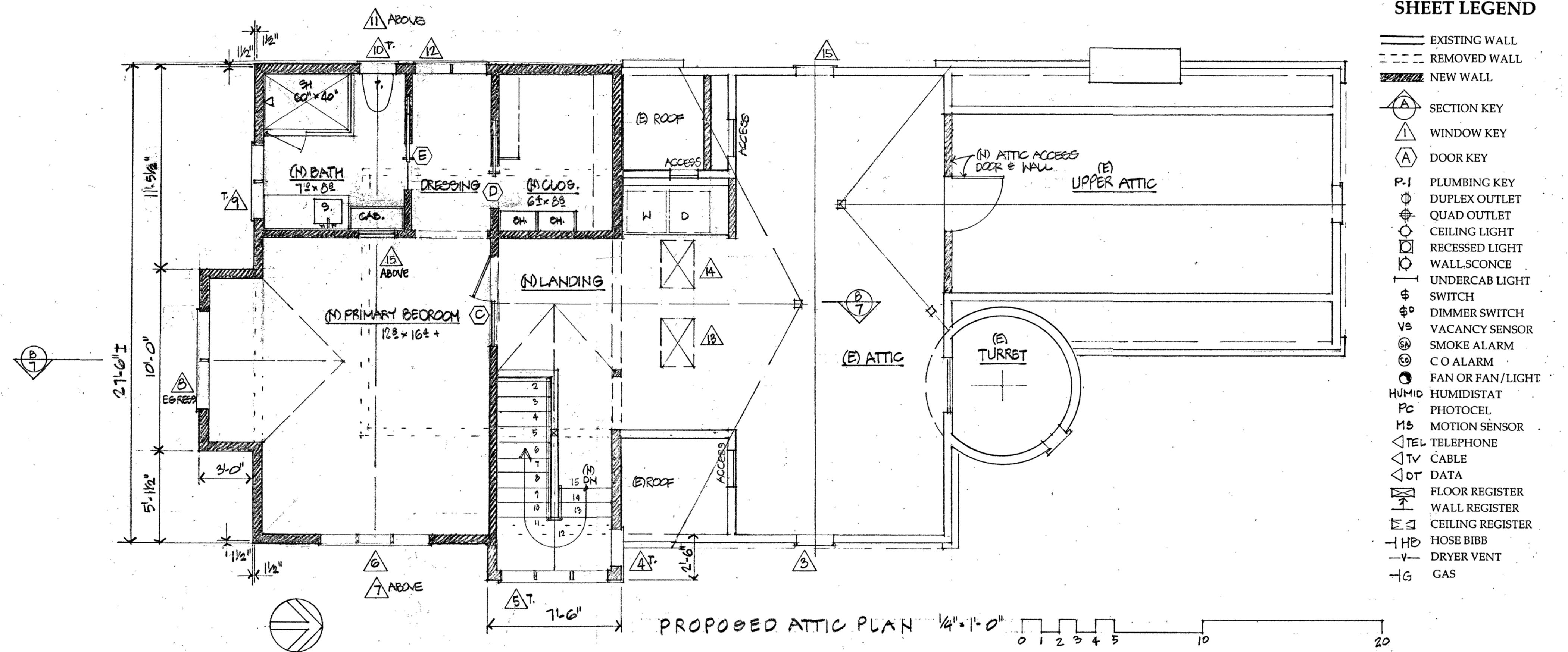
BEDROOM & BATH ADDITION
 JOHN & DANIELLE DESIMONE
 3100 THOMPSON AVENUE
 ALAMEDA CA 94501

Jarvis architects inc.

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 94618-1415

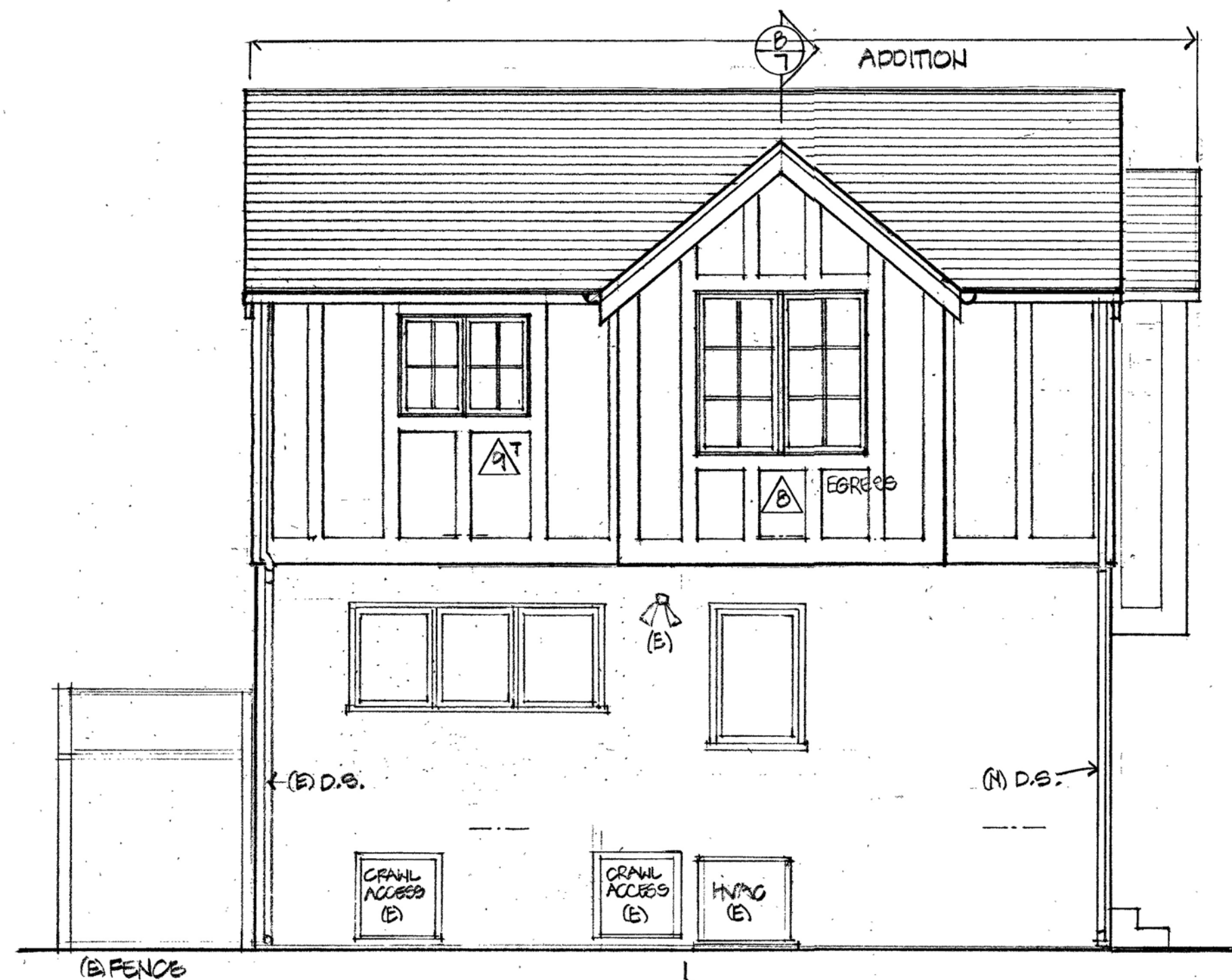
MAIN FLOOR PLANS -
 PROPOSED & EXISTING
 SCHEDULES

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 job number
 2420



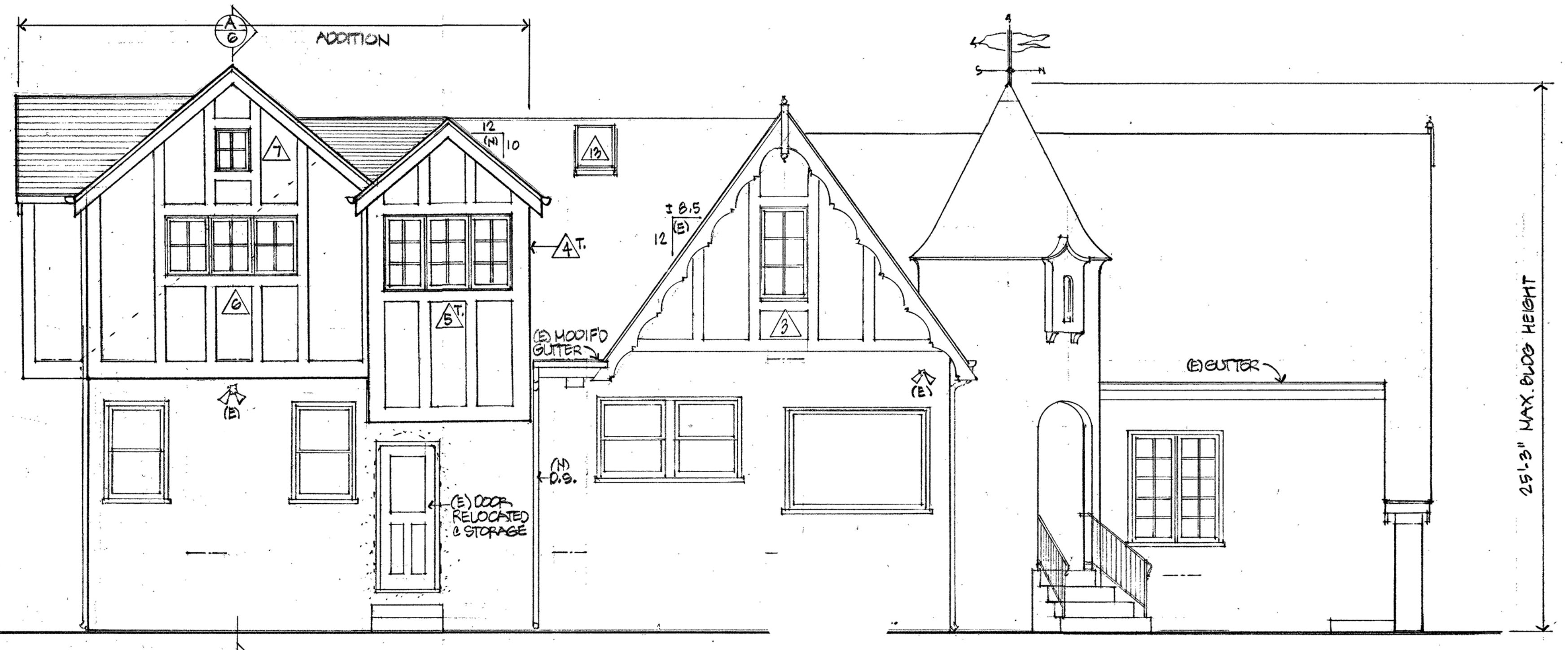
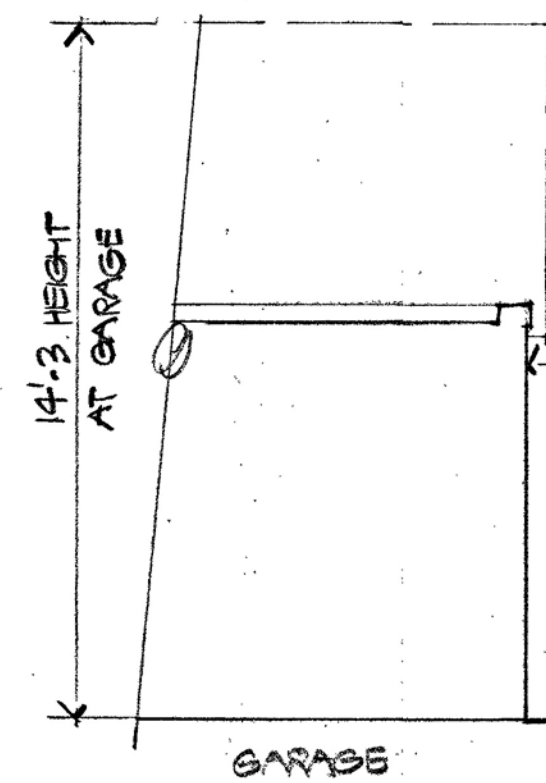
PLANNING SUBMITTAL REV#1

BEDROOM & BATH ADDITION		date
JOHN & DANIELLE DESIMONE		
3100 THOMPSON AVENUE		drawn by
ALAMEDA CA 94501		
Jarvis architects inc.		
5278 College Avenue (510) 654-6755		
Oakland, California		
94618-1415		
ATTIC FLOOR PLANS		sheet
PROPOSED & EXISTING		3
		job number
		2426



PROPOSED SOUTH ELEVATION 1/4"=1'-0"

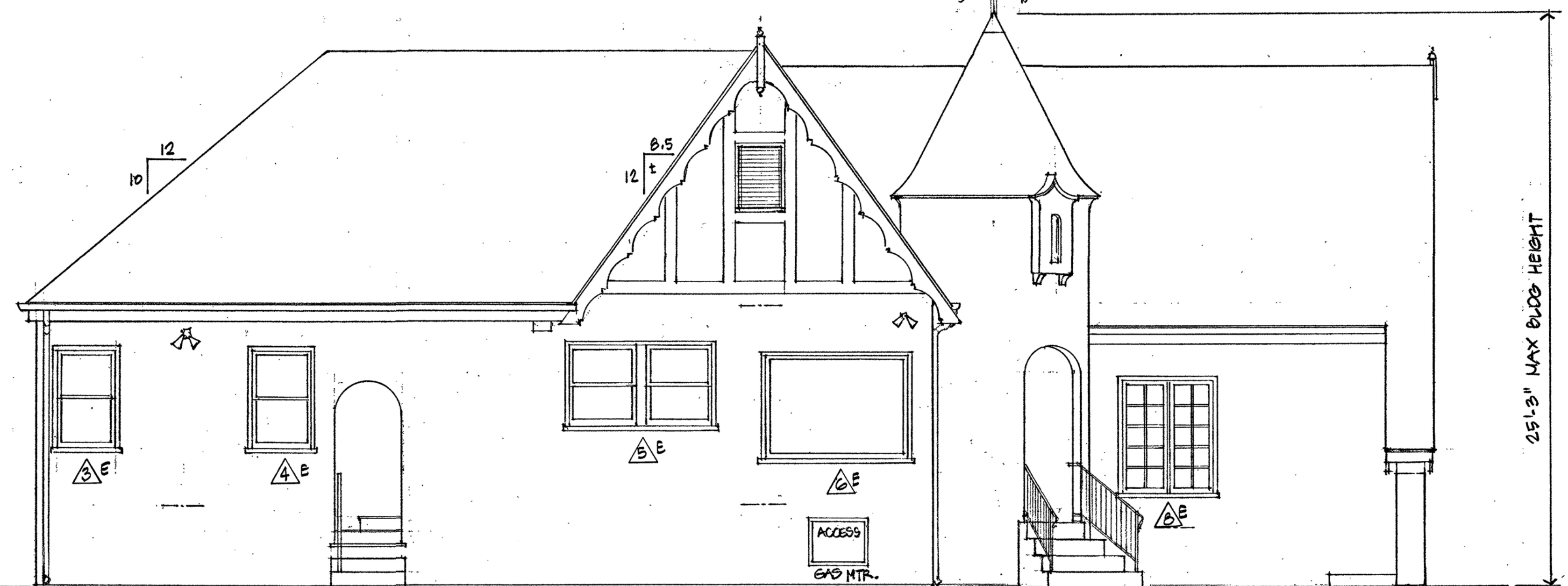
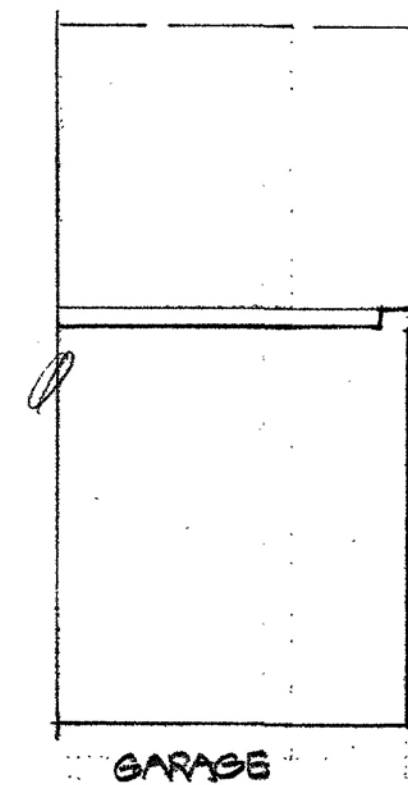
TYPICAL EXTERIOR MATERIALS - PROPOSED
 Class A Random Profile Composition Roofing - Match Existing
 Copper Half-Round Gutters & 3" dia. Downspouts - Match Existing
 Painted Wood Eaves & Trims - match Existing
 Painted Cement Plaster & Painted Wood "Half Timbers" - Match Existing
 Painted Smooth Wood Siding & "Half Timbers" at New Dormers
 Vinyl Clad Wood Windows with Painted Stucco Molding & 2x Sloped Sills
 Painted Wood Doors & Access Panels- Match Existing



PROPOSED EAST ELEVATION 1/4"=1'-0"

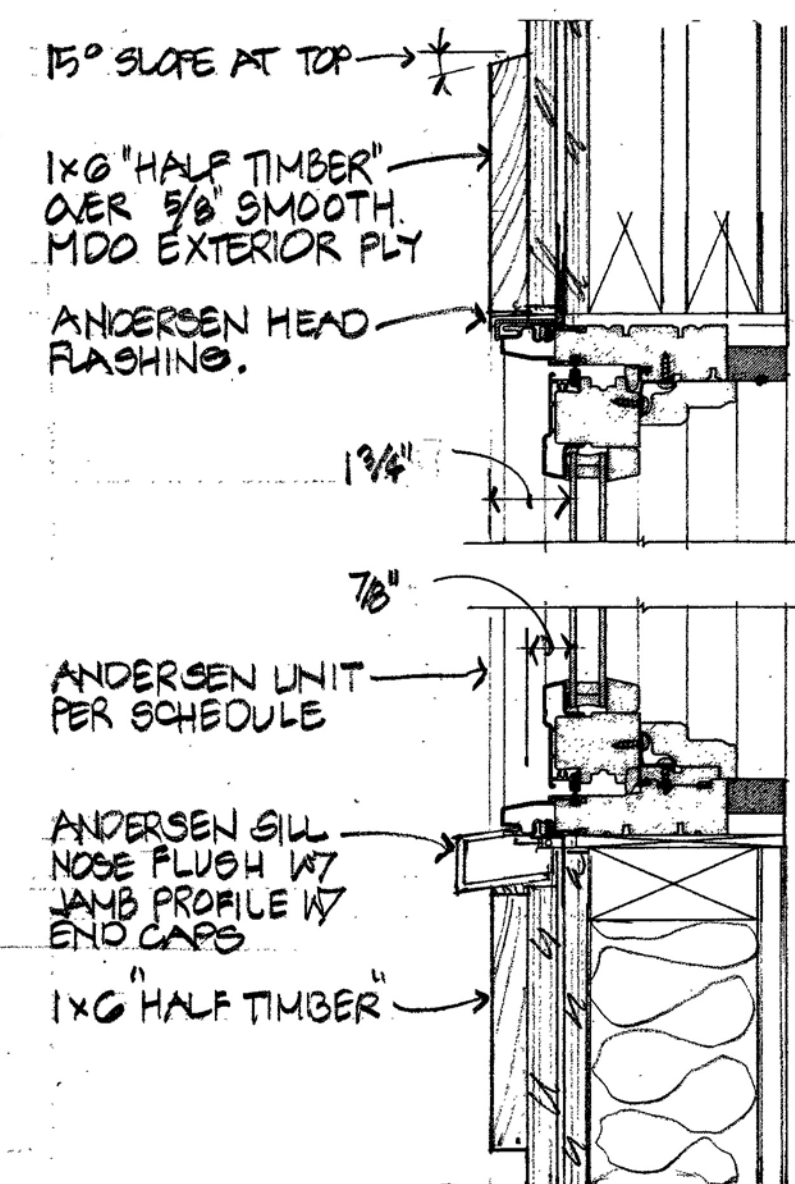
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 Copper Half-Round Gutters & 3" dia. Downspouts
 Painted Wood Eaves & Trims
 Painted Cement Plaster with Painted Wood "Half Timbers"
 Vinyl Clad Wood Windows with Painted Wood Stucco Molding & Sills
 Painted Wood Doors

EXTERIOR LIGHTING: All existing exterior lights to remain. No new exterior light fixtures are proposed.

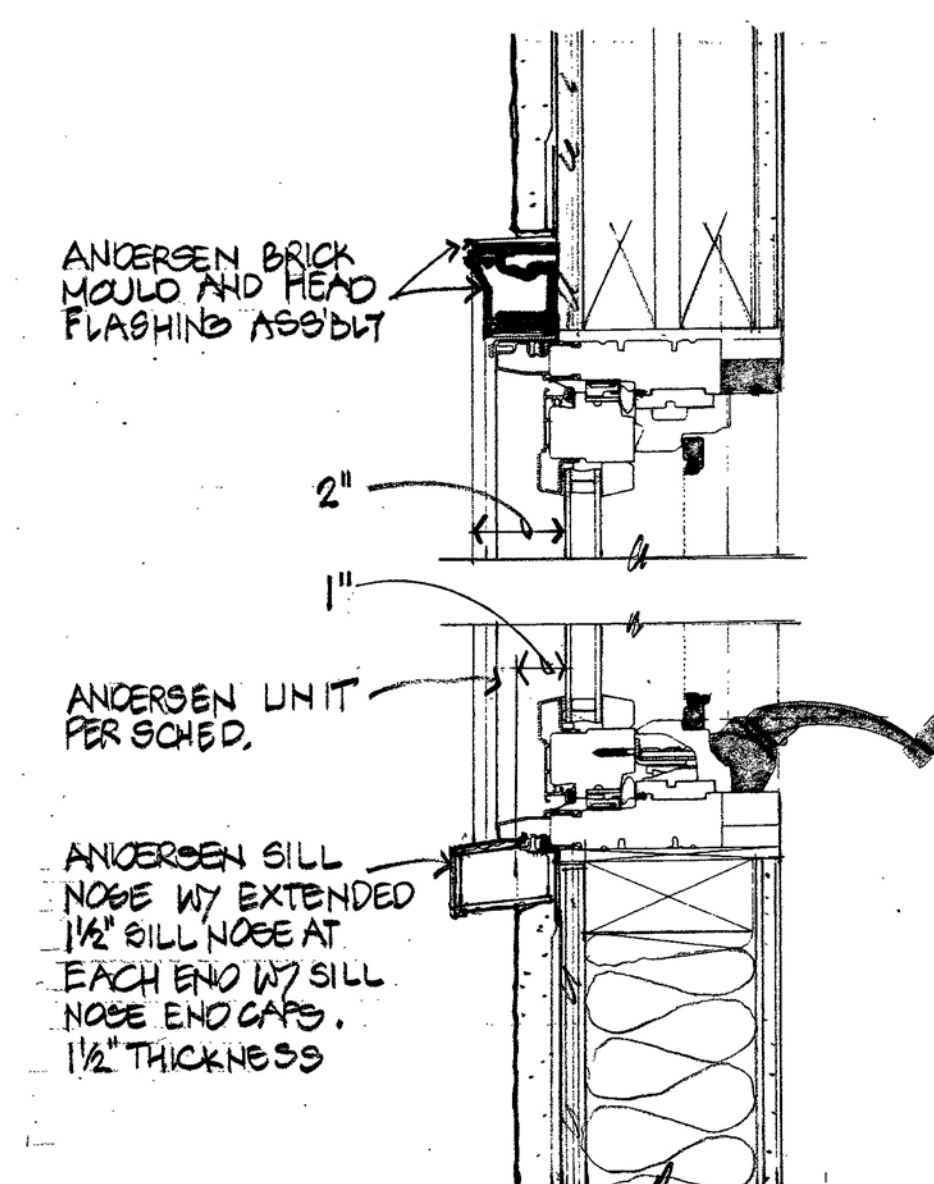


EXISTING EAST ELEVATION 1/4"=1'-0"

EXISTING SOUTH ELEVATION 1/4"=1'-0"



② WINDOW AT HALF TIMBER WALL - 3'-11"-0"



① WINDOW AT STUCCO WALL - 3'-11"-0"



PLANNING SUBMITTAL REV#1

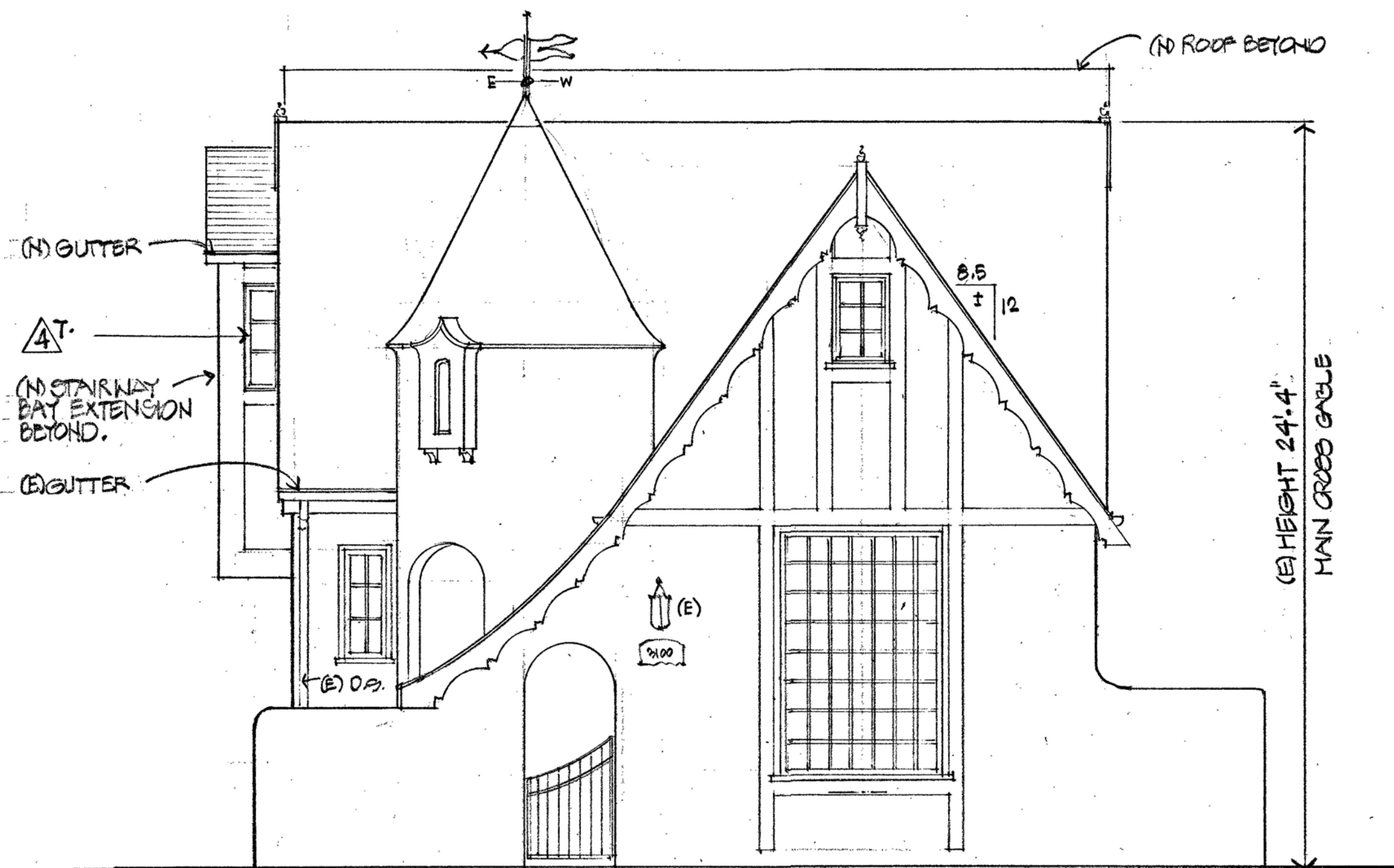
BEDROOM & BATH ADDITION
 JOHN & DANIELLE DESIMONE
 3100 THOMPSON AVENUE
 ALAMEDA CA 94705

Jarvis architects inc.

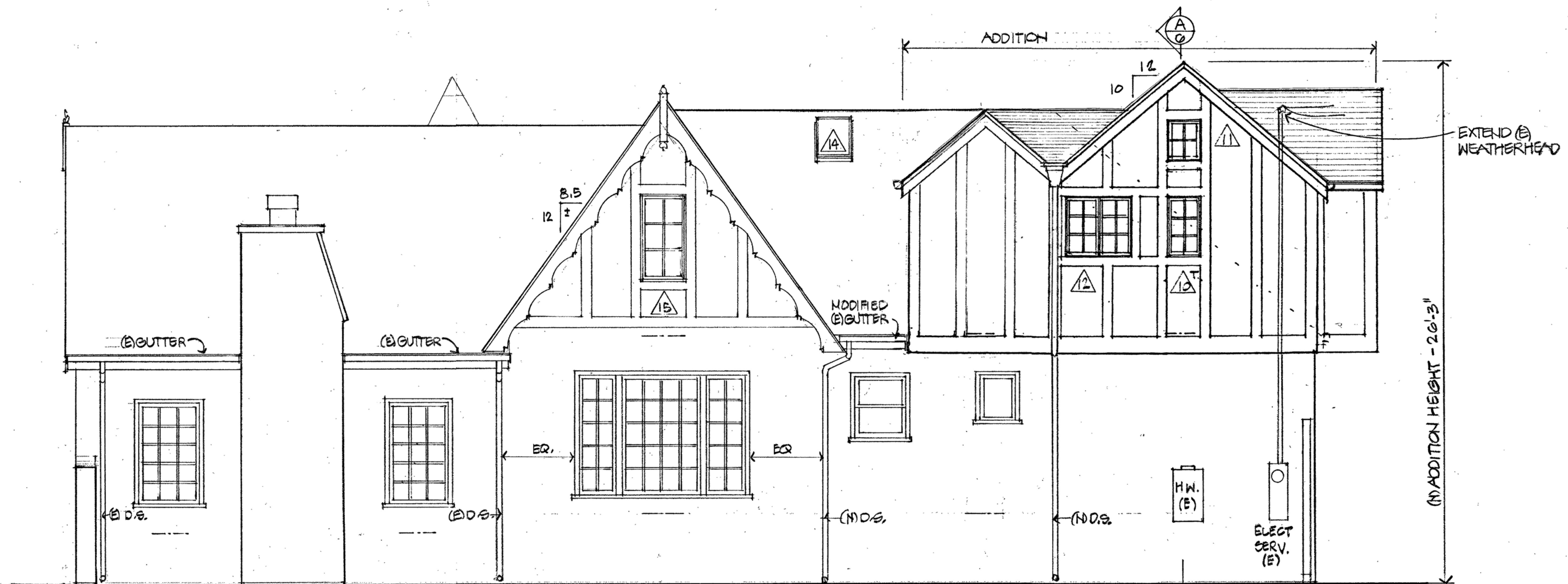
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 Oakland, California
 94618-1415

EXTERIOR ELEVATIONS
 SOUTH & EAST
 WINDOW DETAILS

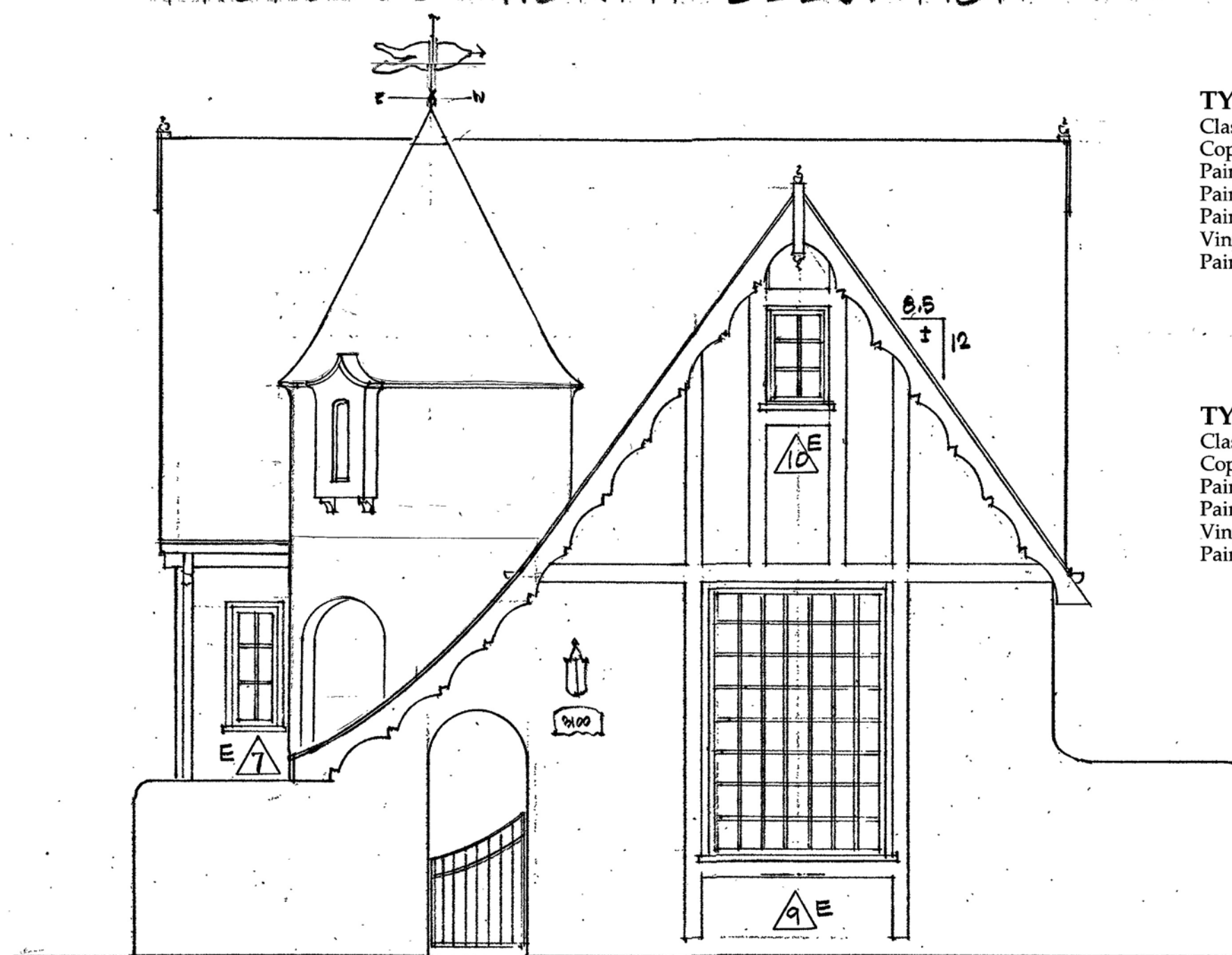
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 2426



PROPOSED NORTH ELEVATION 1/4"=1'-0"



PROPOSED WEST ELEVATION 1/4"=1'-0"

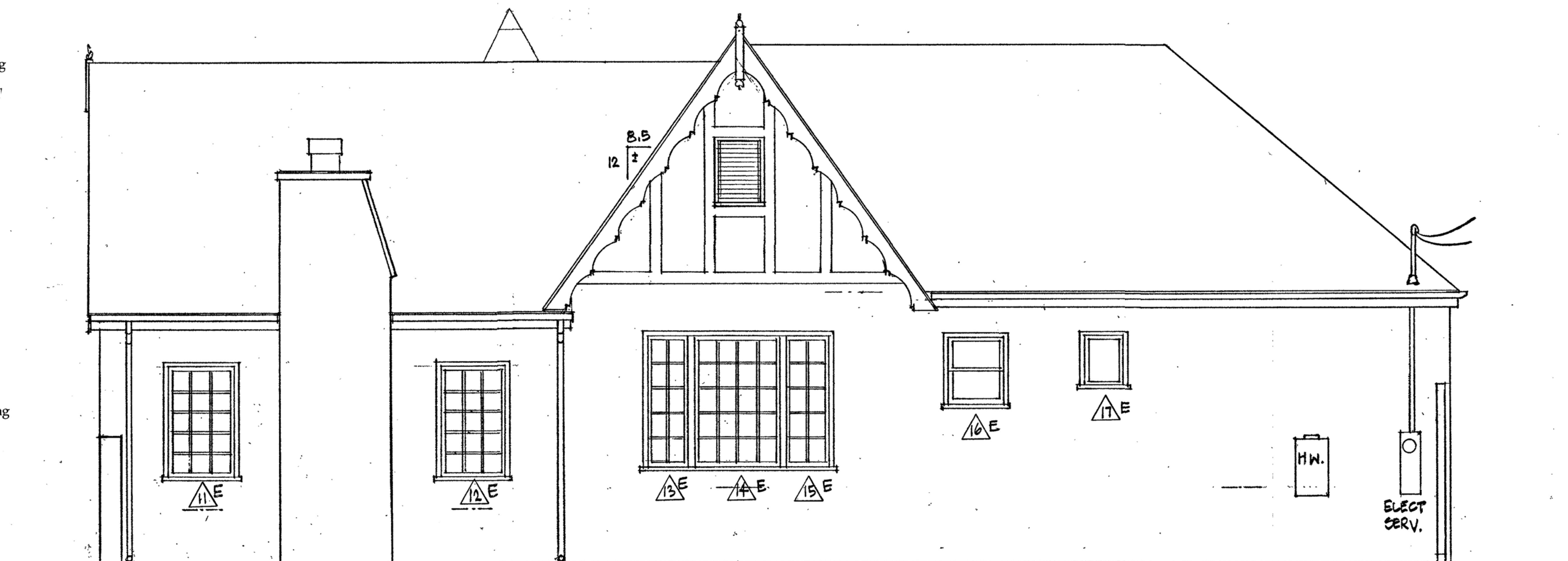


EXISTING NORTH ELEVATION 1/4"=1'-0"

TYPICAL EXTERIOR MATERIALS - PROPOSED
 Class A Random Profile Composition Roofing - Match Existing
 Copper Half-Round Gutters & 3" dia. Downspouts - Match Existing
 Painted Wood Eaves & Trims - match Existing
 Painted Cement Plaster & Painted Wood "Half Timbers" - Match Existing
 Painted Smooth Wood Siding & "Half Timbers" at New Dormers
 Vinyl Clad Wood Windows with Painted Stucco Molding & 2x Sloped St
 Painted Wood Doors & Access Panels- Match Existing

TYPICAL EXTERIOR MATERIALS - EXISTING
 Class A Random Profile Composition Roofing
 Copper Half-Round Gutters & 3" dia. Downspouts
 Painted Wood Eaves & Trims
 Painted Cement Plaster with Painted Wood "Half Timbers"
 Vinyl Clad Wood Windows with Painted Wood Stucco Molding & Sills
 Painted Wood Doors

EXTERIOR LIGHTING: All existing exterior lights to remain. No new exterior light fixtures are proposed.



EXISTING WEST ELEVATION 1/4"=1'-0"

EXISTING WINDOW SCHEDULE

Door Schedule						
	W x H x THICKNESS	STYLE	MATERIAL	FINISH	HARDWARE	REMARKS
A	2' 0" x 6' 8" x 1-3/8"	SINGLE PANEL	WOOD	PAINT ALL SURFACES	PASSAGE	
B	RELOCATED BACK DOOR	GLASS OVER TWO PANELS	WOOD	PAINT ALL SURFACES	(E) ENTRANCE & DEADBOLT	CLEAN UP & PAINT
C	PR 2' 6" x 6' 8" x 1-3/8"	10 LITE FRENCH	WOOD	PAINT ALL SURFACES	PRIVACY W/ EDGE BOLTS	FROSTED TEMPERED GLASS
D	2' 6" x 6' 8" x 1-3/8"	SINGLE PANEL POCKET SLIDER	WOOD	PAINT ALL SURFACES	SURFACE GRAB EACH SIDE	
E	2' 6" x 6' 8" x 1-3/8"	SINGLE PANEL POCKET SLIDER	WOOD	PAINT ALL SURFACES	PRIVACY?	
F	2' 6" x 6' 8" x 1-3/8"	10 LITE FRENCH	WOOD	PAINT ALL SURFACES	PASSAGE	TEMPERED GLASS WEATHERSTRIP

NOTE: ARCHITECT TO REVIEW BEFORE PLACING ORDER.

1	REF. STDS:	National Woodwork Manufacturers Association (NWMA)
2	SILL PAN:	Exterior door to have sill pan of prefabricated 24 ga. G.S.M. or 16 oz. copper, riveted and soldered 100% watertight.
3	FLASHING:	G.S.M. drip cap flashing at door heads, typical. Rough opening penetrations to be flashed with self-adhering, butyl-based flashing, Grace 'Vycor Pro' with OSI
4	OPERATION:	Doors shall operate freely but not loosely and shall be free from rattling in the closed position. Door clearance at head and jambs shall be 3/32", +/- 1/32".
5	HARDWARE:	To be selected by owner. Emtek or equal.

Window Schedule				
	ANDERSEN 400 SERIES	TYPE	ROOM	FINISH
1	NOT USED			
2	NOT USED			
3	C 145	CASEMENT 2 X 3 LITES	(E) ATTIC	CLAD EXTER. PAINT INTER.
4	C 135	CASEMENT 2 X 3 LITES	(N) STAIRWAY	CLAD EXTER. PAINT INTER.
5	C 335	TRIPLE CSMTS 2 X 3 LITES EA.	(N) STAIRWAY	CLAD EXTER. PAINT INTER.
6	C 33	TRIPLE CCSMTIST 2 X 3 LITES	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
7	C N12	FIXED CSMT 2 X 3 LITES	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
8	C 25	PAIR CSMTS 2 X 3 LITES EA.	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
9	C 235	PAIR CSMTS 2 X 3 LITES EA.	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
10	C N13	CASEMENT 2 X 3 LITES	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
11	C N12	FIXED CSMT 2 X 3 LITES	(N) PRIMARY BEDROOM	CLAD EXTER. PAINT INTER.
12	C 235	PAIR CSMTS 2 X 3 LITES	(E) ATTIC	CLAD EXTER. PAINT INTER.
13	VELUX VS CO 4	VENTING SKYLIGHT	(N) LANDING	PAINT INTER. WOOD FRAME
14	VELUX VS CO 4	VENTING SKYLIGHT	(N) LANDING	PAINT INTER. WOOD FRAME
15	1' 8" X 2' 0"	SASH SIZE	(N) PRIMARY BEDROOM	PAINT

NOTE: ARCHITECT TO REVIEW BEFORE PLACING ORDER.

1.	REF. STANDARDS	National Wood Window & Door Association (NWDA) Standards.
2.	INSTALLATION:	Install per manufacturer's instructions.
3.	MATERIALS:	ANDERSEN SERIES 400. VINYL CLAD color to match existing Renewal units. Screens & options per owner.
4.	GLAZING:	Glazing - See T24 report for U- and SHGC- values.
5.	FLASHING:	See installation detail @ sht 4.

Site Address: 3100 THOMPSON AVENUE Year Built: 1926 Is property on City Study List or a City Monument: ☐ Yes ☒ No
 Architectural Style of Building: ☐ Pioneer ☐ Italianate ☐ Stick Eastlake ☐ Queen Anne ☐ Colonial Revival ☐ Craftsman ☐ Bungalow ☐ Prairie ☐ Mediterranean ☐ Provincial ☐ Tract/Ranch ☒ Other TUDOR FANTASY

ROOM	EXISTING WINDOW TYPE	EXISTING WINDOW MATERIAL	EXISTING SIZE (width) x (depth)	MUNTINS/GRIDS
Kitchen	Double-hung	Wood	48" x 36"	96" x 72"
1E BEDROOM #1	TRIPLECASEMENT	VINYL CLAD WOOD CORE	36" x 30"	0
2E BEDROOM #2	CASEMENT	"	24" x 42"	0
3E BEDROOM #2	DOUBLE HUNG	"	24" x 42"	0
4E BEDROOM #2	DOUBLE HUNG	"	24" x 42"	0
5E KITCHEN	PR DOUBLE HUNG	"	24" x 36"	0
6E KITCHEN	PICTURE	"	64" x 48"	0
7E KITCHEN	CASEMENT	"	14" x 36"	2 x 3
8E LIVING RM	PR CASEMENTS	"	24" x 52"	2 x 5 EACH
9E LIVING RM	PICTURE	"	54" x 52"	7 x 3
10E UPPER ATTIC	CASEMENT	"	22" x 38"	2 x 3
11E LIVING RM	CASEMENT	"	38" x 50"	3 x 5
12E LIVING RM	CASEMENT	"	38" x 50"	3 x 5
13E DINING	CASEMENT	"	18" x 50"	2 x 5
14E DINING	PICTURE	"	312" x 510"	4 x 5
15E DINING	CASEMENT	"	18" x 51"	2 x 5
16E BATH	DOUBLE HUNG	"	12" x 24"	0
17E CLOSET - BR #1	CASEMENT	"	24" x 30"	0



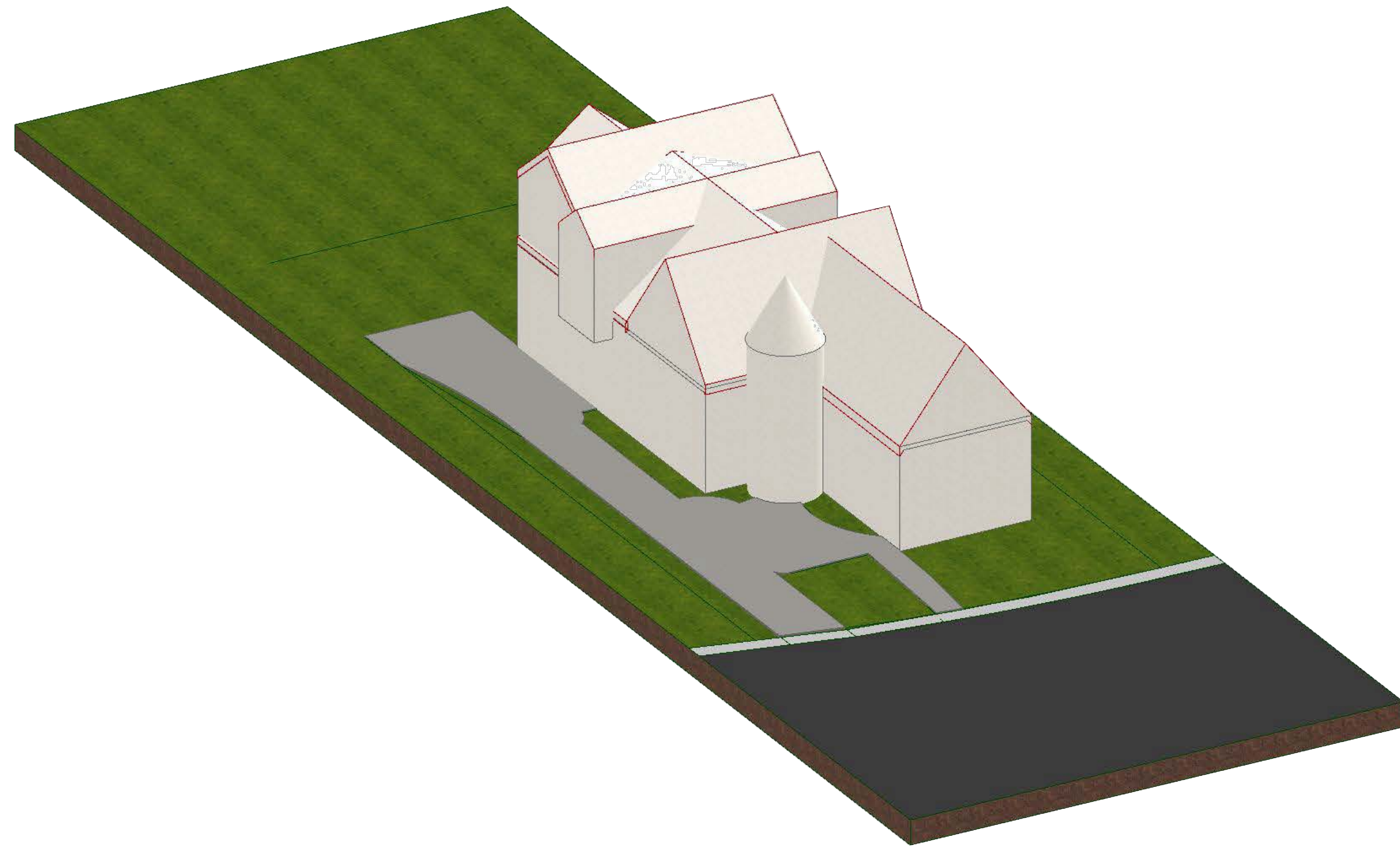
PLANNING SUBMITTAL REV# 1

BEDROOM & BATH ADDITION
 JOHN & DANIELLE DESIMONE
 3100 THOMPSON AVENUE
 ALAMEDA CA 94501

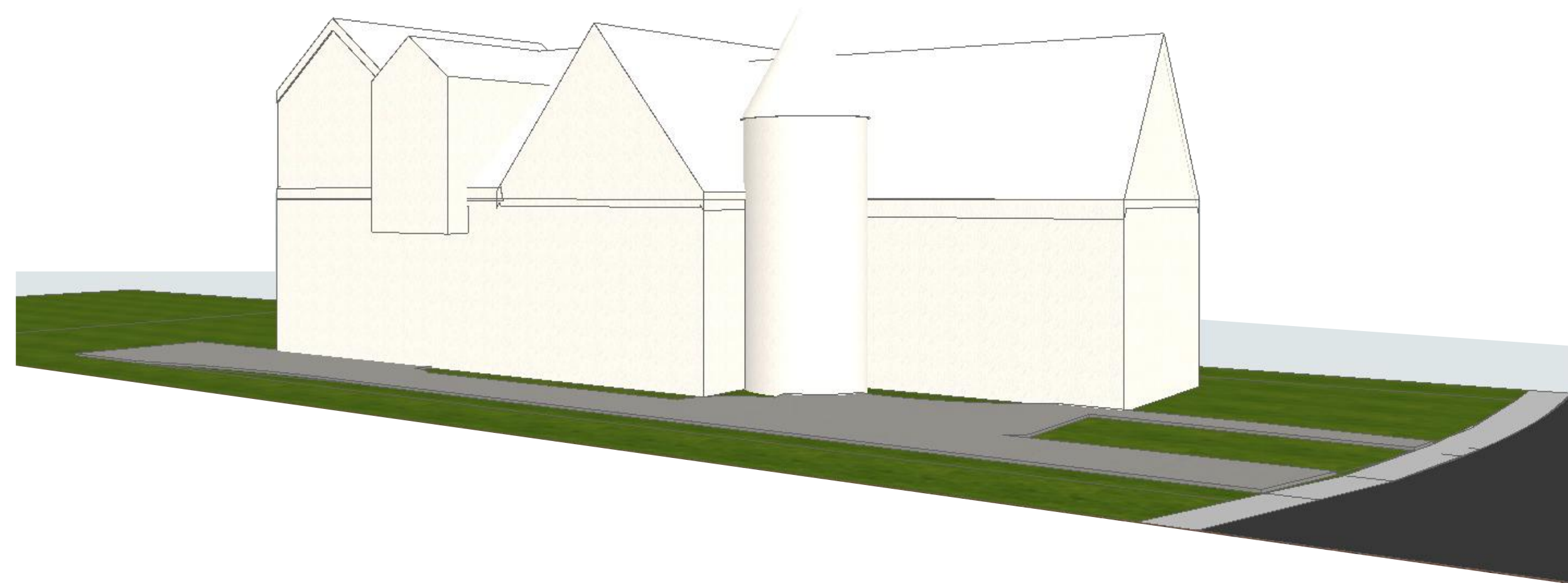
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EXTERIOR ELEVATIONS
 NORTH & WEST

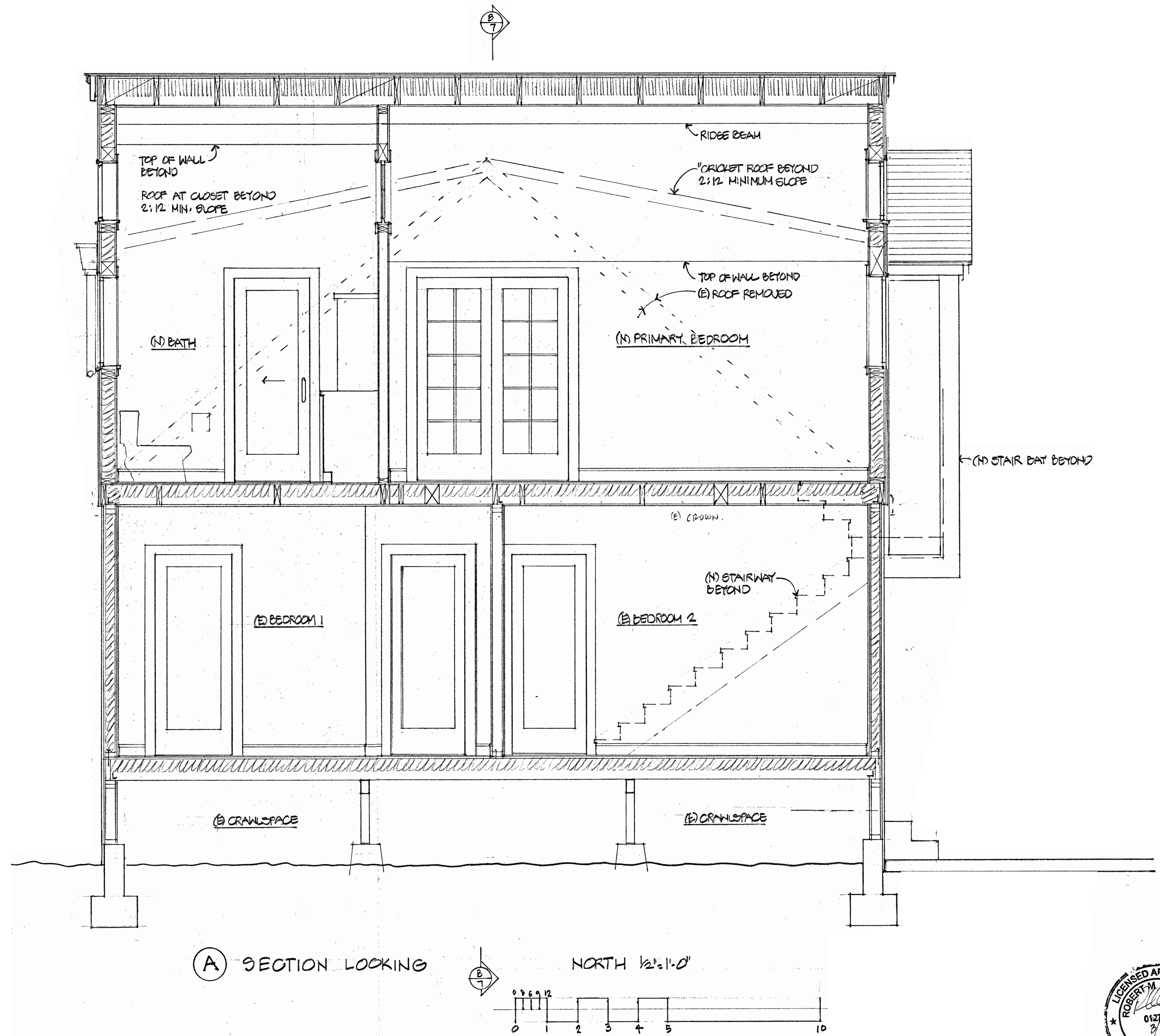
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 2426



Massing Model • Bird's Eye View



Massing Model • Perspective View



PLANNING SUBMITTAL REV#1

BEDROOM & BATH ADDITION
JOHN & DANIELLE DESIMONE
3100 THOMPSON AVENUE
ALAMEDA CA 94501

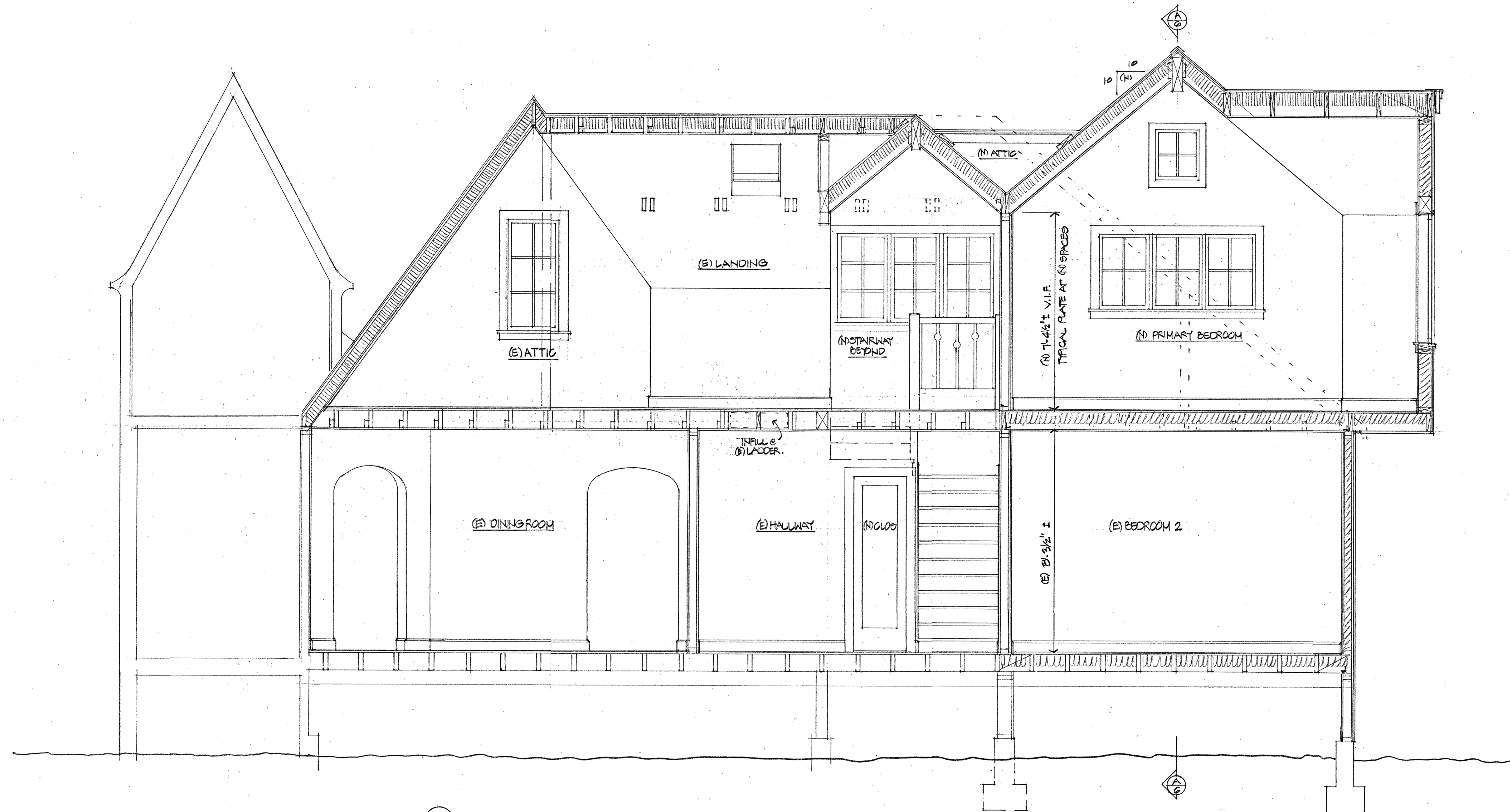
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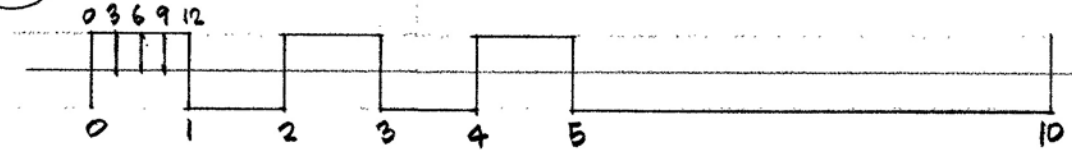
(A) SECTION LOOKING NORTH

sheet **6**

job number
2426



(B) SECTION LOOKING EAST



PLANNING SHEET REV. #1

BEDROOM & BATH ADDITION
JOHN & DANIELLE DESIMONE
3100 THOMPSON AVENUE
ALAMEDA CA 94501

date
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94618-1415

(B) SECTION LOOKING EAST

sheet

7

job number

2426



STREET VIEW



DRIVEWAY FROM STREET



ENTRY TURRET



EAST DRIVEWAY LOOKING SOUTH



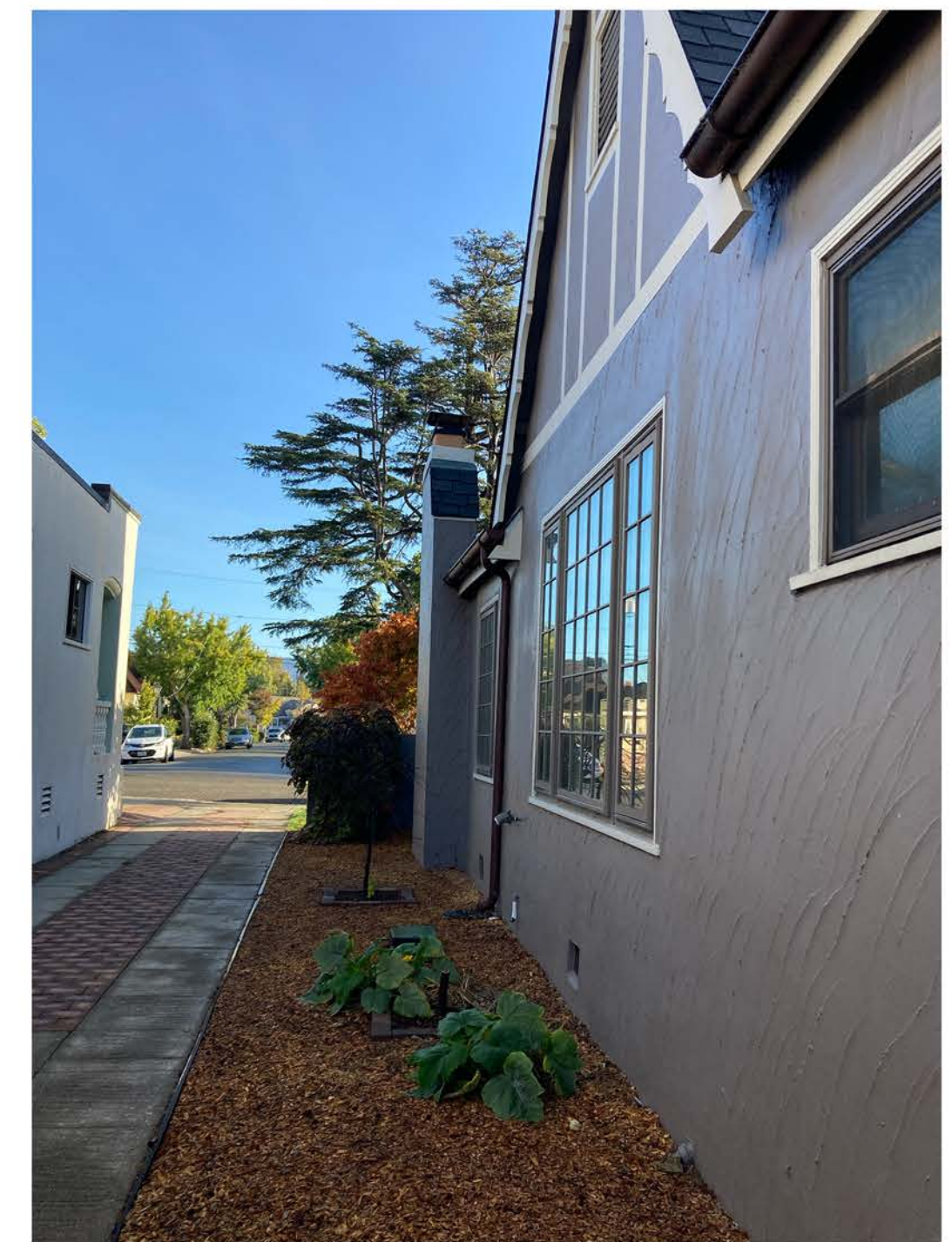
EAST DRIVEWAY LOOKING NORTH



SOUTH FROM BACK YARD



WEST LOOKING SOUTH



WEST LOOKING NORTH



PLANNING SUBMITTAL	
BEDROOM & BATH ADDITION JOHN & DANIELLE DESIMONE 3100 THOMPSON AVENUE ALAMEDA CA 94501	date: _____ drawn by: _____
Jarvis architects inc. 5278 College Avenue (510) 654-6755 Oakland, California 94618-1415	
EXISTING HOUSE PICTURES	sheet 8 job number 2426