

General Notes

1.

All work and materials to conform to the requirements of local and state codes and the specifications of the National Board of Fire Underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located.

2.

Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any discrepancies to the Architect for correction before beginning any work.

3.

Do not scale drawings. All written dimensions govern.

4.

The Architect is not responsible for any deviations from the plans and specification information.

5.

The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.

6.

The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

Symbol Legend

Building Section Reference
(drawing #/ sheet #)

Wall Section Reference
(drawing #/ sheet #)

Interior Elevation Reference
(drawing #/ sheet #)

Grid Line

Detail Reference
(drawing #/ sheet #)

Datum or Elevation Point
0*

Door Symbol

Window Symbol

Key Note

Elevation Reference
(drawing #/ sheet #)

Room Name
100

Egress

Tempered

Abbreviations

AD

Area Drain

ADJ

sf

AFF

Above Finish Floor

AGGR

Aggregate

ARCH

Architectural

ASPH

Asphalt sf

BLDG

Building

BLK

Block

BLKG

Blocking

BO

Bottom of

BW

Bottom of Wall

CPT

Carpet

CAB

Cabinet

CJ

Construction Joint

CL

Center Line

CLOS

Closet

CLG

Ceiling

CLR

Clear

CO

Clean Out

COL

Column

COMC

Concrete

CONT

Continuous

CSMT

Casement

CT

Ceramic tile

CS

Counter Sink

DEMO

Demolition

DET

Detail

DH

Double Hung

DF

Douglas Fir

DIAG

Diagonal

DIM

Dimension

DWGS

Drawings

DN

Down

DS

Downspout

(E)

Existing

EJ

Expansion Joint

EL

Elevation

EQ

Equal

EXT

Exterior

FD

Floor Drain

FF

Finish Floor

FIN

Finish

FOC

Face Of Concrete

FOS

Face Of Stud

FOW

Face Of Wall

FTG

Footing

GA

Gauge

GALV

Galvanized

GWB

Gypsum Wall Board

GL

Glass

GLU LAM

Glue Laminated

GSM

Galv. Sheet Metal

H B

Hose Bibb

HGT

Height

HM

Hollow Metal

HOR

Horizontal

HP

High Point

ID

Inside Diameter

INSUL

Insulation

INT

Interior

JBOX

Junction Box

JT

Joint

LAM

Laminated

LAV

Lavatory

LP

Low Point

MECH

Mechanical

MIN

Minimum

MTL

Metal

(N)

New

NIC

Not In Contract

NTS

Not To Scale

OBS

Obscure

OC

On Center

OD

Outside Diameter

OPN'G

Opening

PLAM

Plastic Laminated

PL

Property Line

PLT

Steel Plate

PLYWD

Plywood

PT

Point

QTY

Quantity

R

Riser

RAD

Radius

RET

Retaining

R/A

Return Air

RD

Round

RD

Roof Drain

REF

Refrigerator

REG

Register

REINF

Reinforced

REQ'D

Required

RO

Rough Opening

RWD

Redwood

RWL

Rain Water Leader

SAG

Supply Air Grill

SV

Sheet Vinyl

SH

Single Hung

SHT

Sheet

SIM

Similar

SM

Sheet Metal

SQ

Square

SSD

See Structural Drawings

SS

Stainless Steel

STD

Standard

STL

Steel

STRUC

Structural

T

Tread

TC

Top Of Curb

TEMP

Tempered Glass

TJI

Truss Joist

TO

Top Of

TOC

Top Of Concrete

TYP

Typical

TW

Top of Wall

TS

Tube Steel

UON

Unless Otherwise Noted

VERT

Vertical

VIF

Verify In Field

VTO

Vent To Outside

W/

With

W/C

Water Closet

WD

Wood

W/H

Water Heater

WP

Waterproof

WPT

Work Point

YD

Yard

2022 California Building Code
2022 California Residential Code
2022 California Mechanical Code
2022 California Electrical Code
2022 California Plumbing Code
2022 California Green Building Code
2022 California Energy Code
2022 California Fire Code
Local codes, amendments and ordinances

Project Team

Client

Rebecca Jeschke
1713 9th Street
Alameda, CA 94501

Architect:

Drafting Cafe Architects
Ethan Andersen, AIA
2350 Saratoga St Unit 155
Alameda, CA 94501
T 510-251-2511

Development Information

Zoning District

R-2

Occupancy Code

Type R3/U

Construction Type

Type VB

Areas

Existing

Proposed

Allowable

Total Lot Area

5,080 sf

5,080 sf

-

Total Floor Area

2,353 sf sf

2,701 sf

-

Floor Area (1713)

1,554 sf sf

1,902 sf

-

Floor Area (1715)

799 sf

799 sf

-

Lot Coverage

2,282 sf

2,304 sf

2,692 SF

Lot Coverage (%)

44.92%

45.35%

53%

Setbacks

13'-10"

13'-10"

20'-0"

Front

23'-10"

23'-10"

-

Front to Curb

58'-8"

58'-8"

20'-0"

Rear

3'-10 1/2"

3'-10 1/2"

5'-0"

Side (Right)

1'-8"

1'-8"

5'-0"

Side (Left)

Building Height

20'-5 7/8"

23'-1 1/2"

30'-0"

Max. Height

Development

of Dwelling Units

2

2

-

of Bedrooms

3

4

-

of Parking Spaces

1

1

-

Is Dwelling equipped with an automatic fire sprinkler system?

No

Is Dwelling located in a Very High Fire Hazard Severity Zone?

No

Project Description

Addition of a second floor with primary bedroom suite and office over the existing dining room and kitchen.

Property Information

APN:

73-409-21

Address:

1713 9th Street
Alameda, CA 94501

Drawing List

Architectural

A0.1

Cover Sheet

A1.1

Site Plans

A1.2

Lower Level Floor Plan - Existing

A1.3

Main and Upper Level Floor Plans - Existing

A1.4

Main and Upper Level Floor Plans - Proposed

A1.5

Electrical and Lighting Plan

A1.6

Roof Plans

A1.7

Floor Area Diagram - Existing

A1.8

Floor Area Diagram - Proposed

A2.1

Existing & Proposed Elevations

A2.2

Existing & Proposed Elevations

A2.3

Existing & Proposed Elevations, Details

A3.1

Proposed Building Sections

Title24

CalGreen

Structural

Site Photos

Front View

Rear View

Vicinity Map

Location Map

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NOT FOR CONSTRUCTION

ETHAN C ANDERSEN
C-235
May 31, 2025
RENEWAL
DATE
STATE OF CALIFORNIA

Architect Coordination

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☒ DD

☐ PD

☐ Revise and Resubmit

☐ Approved w/ Revisions

☐ Approved for Issuance

REVISIONS

NO

DESCRIPTION

DATE

1

Design Review Comments

7/11/25

FILE:

25003 - 1713 9th St D0R1.wvx

Cover Sheet

DATE

07/16/2025

PROJECT

25004

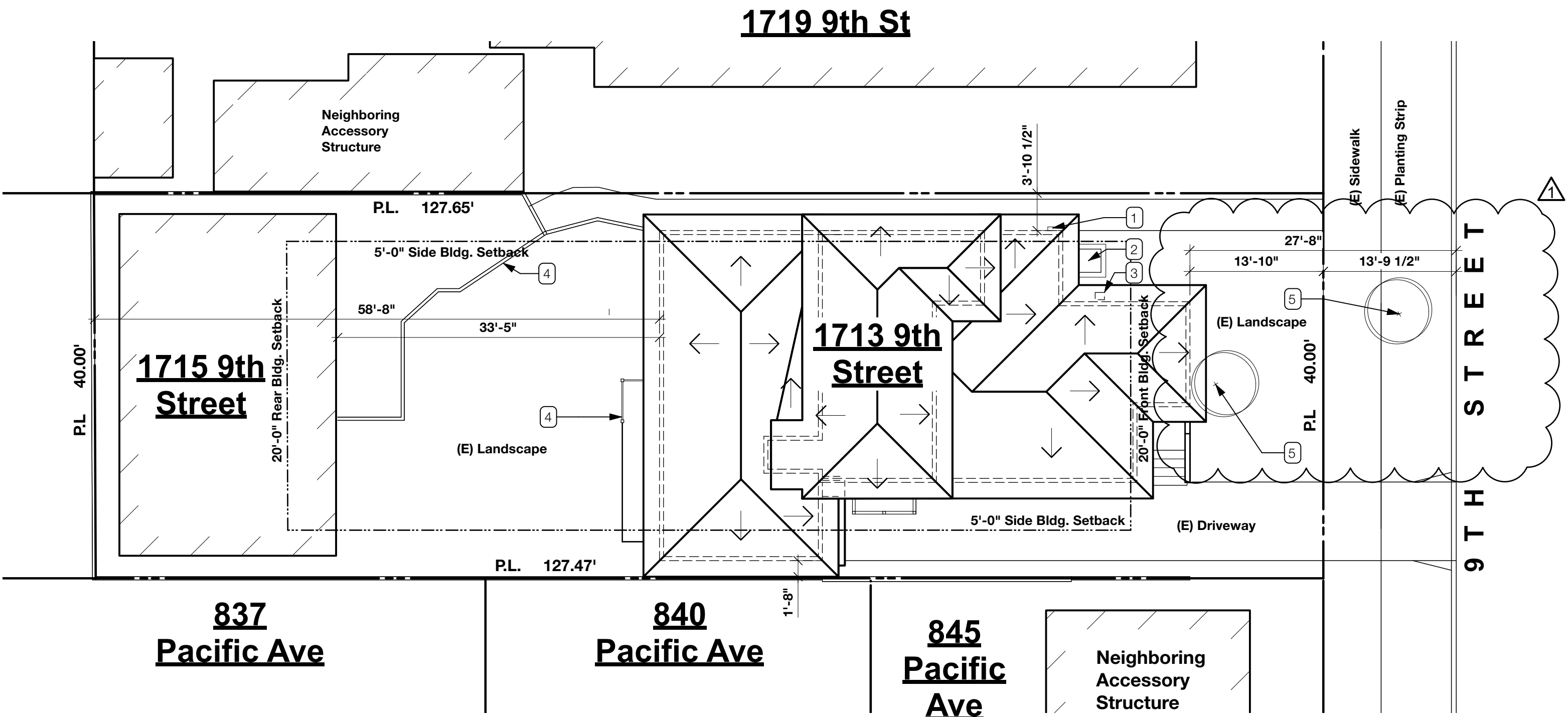
SCALE

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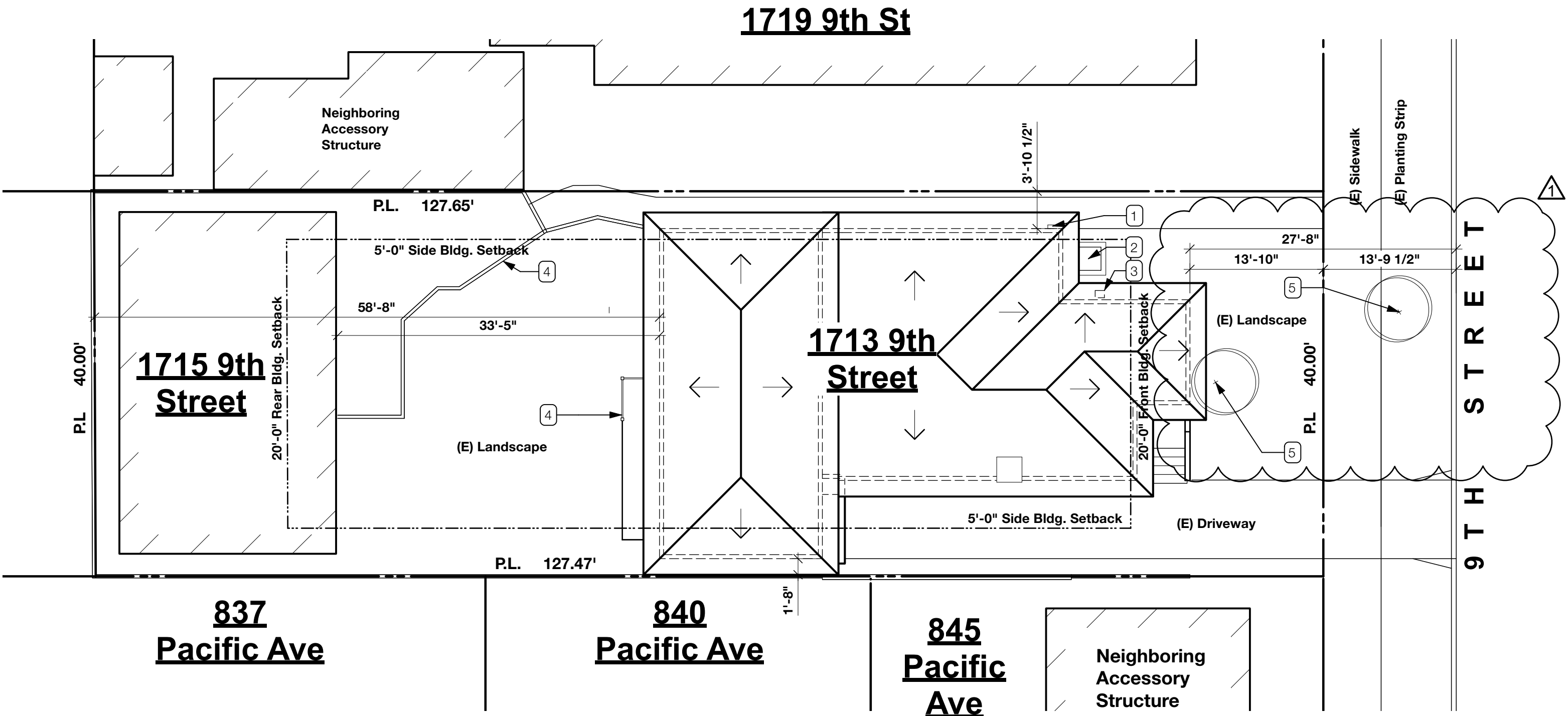
A0.1

Keynotes

- 1. (E) 100A main panel and meter
- 2. AC Unit
- 3. (E) Gas Meter
- 4. (E) Wood Fence
- 5. (E) Tree



2 Site Map - Proposed
Scale: 1" = 10'-0"



1 Site Map - Existing
Scale: 1" = 10'-0"

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REVISIONS	NO.	DESCRIPTION	DATE
	1	Design Review Comments	7/11/25

Site Plans

DATE 07/16/2025
PROJECT 25004
SCALE 1" = 10'-0"

A1.1

Existing Window Schedule						
Id Label	Qty.	Operation	Width	Height	Manufacturer	Notes
Existing						
1	1	Awning	2'6"	1'4"		To Be Removed
2	1	Awning	2'6"	1'4"		To Be Removed
3	1	Fixed Glass	4'0"	4'0"		To Be Removed

Existing Door Schedule							
ID Label	Qty.	Width	Height	Type	Material	Finish	Notes
Existing							
1	1	2'2"	6'8"	Swing Simple			To Be Removed
2	2	2'6"	6'8"	Swing Simple			To Be Removed

Keynotes

1. (E) Gas Meter
2. AC Unit

Wall Legend

(E) Wall

Wall to be Demolished

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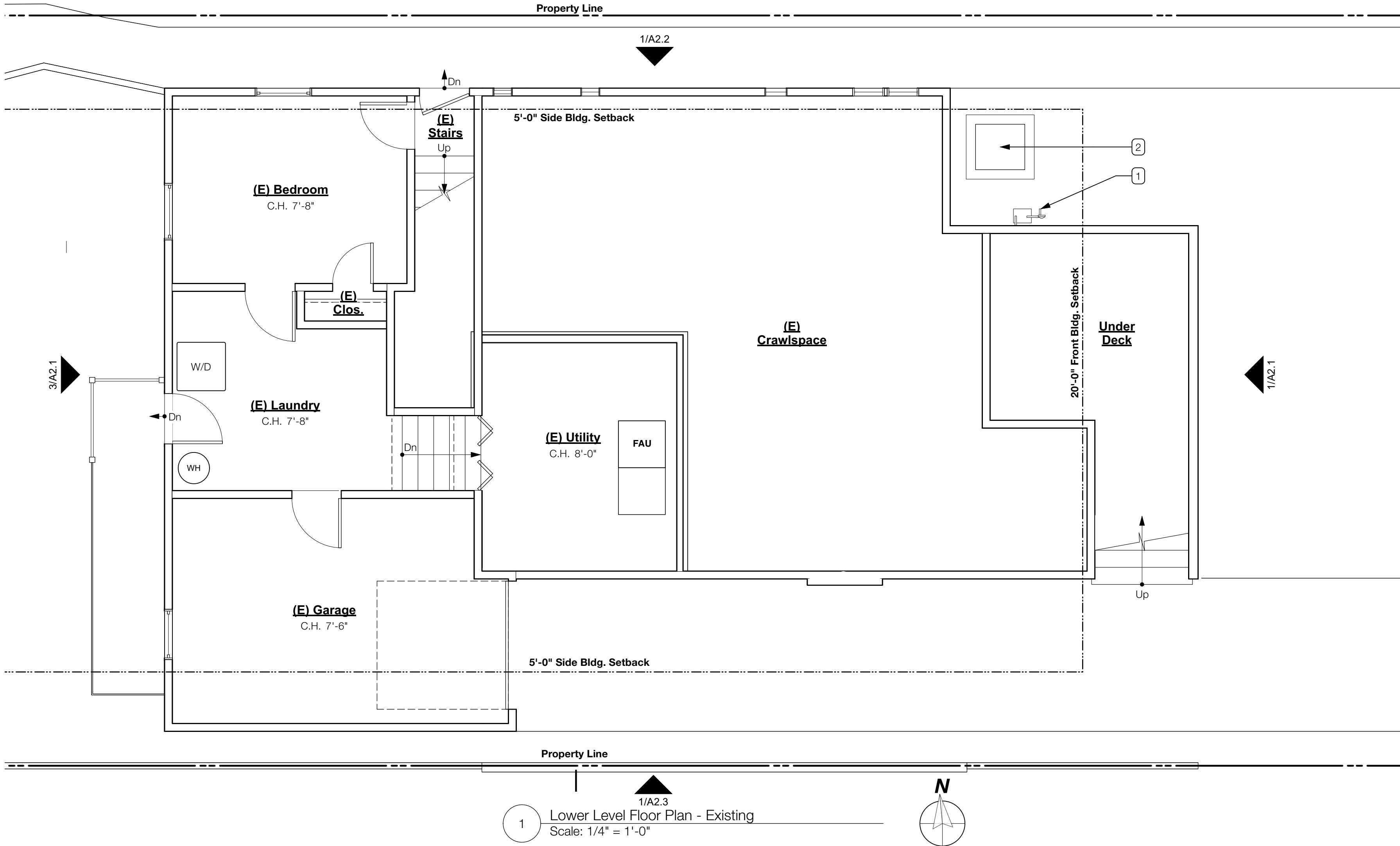
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	1	Design Review Comments	7/11/25						

Lower Level Floor
Plan - Existing

DATE 07/16/2025

PROJECT 25004

SCALE 1/4" = 1'-0"

A1.2

Existing Window Schedule						
Id Label	Qty.	Operation	Width	Height	Manufacturer	Notes
Existing						
1	1	Awning	2'6"	1'4"		To Be Removed
2	1	Awning	2'6"	1'4"		To Be Removed
3	1	Fixed Glass	4'0"	4'0"		To Be Removed

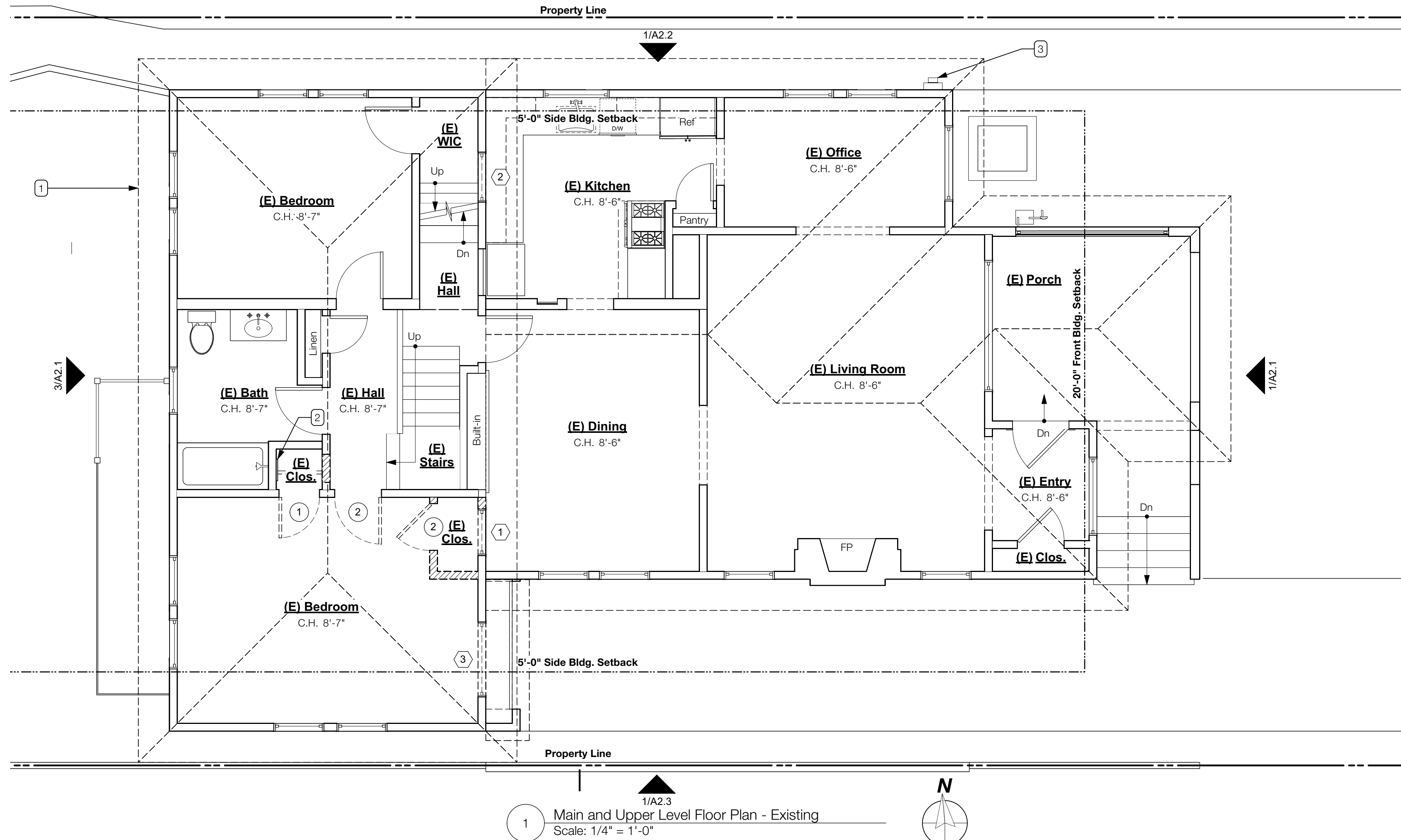
Existing Door Schedule							
ID Label	Qty.	Width	Height	Type	Material	Finish	Notes
Existing							
1	1	2'2"	6'8"	Swing Simple			To Be Removed
2	2	2'6"	6'8"	Swing Simple			To Be Removed

- Keynotes**
- Roof Line Above
 - (E) Access Panel for Tub/Shower Plumbing
 - (E) 100A main panel and meter

Wall Legend

_____ (E) Wall

~~~~~ Wall to be Demolished



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Main and Upper Level  
Floor Plans - Existing

DATE 07/16/2025

PROJECT 25004

SCALE 1/4" = 1'-0"

A1.3



| Proposed Door Schedule                                                                                     |      |       |        |               |          |        |           |         |       |
|------------------------------------------------------------------------------------------------------------|------|-------|--------|---------------|----------|--------|-----------|---------|-------|
| ID Label                                                                                                   | Qty. | Width | Height | Type          | Material | Finish | Leaf Type | Glazing | Notes |
| Proposed                                                                                                   |      |       |        |               |          |        |           |         |       |
| 1                                                                                                          | 1    | 1'6"  | 6'8"   | Swing Simple  |          |        | Solid     |         |       |
| 2                                                                                                          | 2    | 2'6"  | 6'8"   | Swing Simple  |          |        | Solid     |         |       |
| 3                                                                                                          | 1    | 2'8"  | 6'8"   | Swing Simple  |          |        | Solid     |         |       |
| 4                                                                                                          | 1    | 5'0"  | 6'8"   | Swing Bi-part |          |        | Glass     | Temp    |       |
| 5                                                                                                          | 2    | 6'0"  | 6'8"   | Slider        |          |        | Solid     |         |       |
| NOTE: Contractor to verify dimension of all new doors will fit rough openings prior to placing door order. |      |       |        |               |          |        |           |         |       |

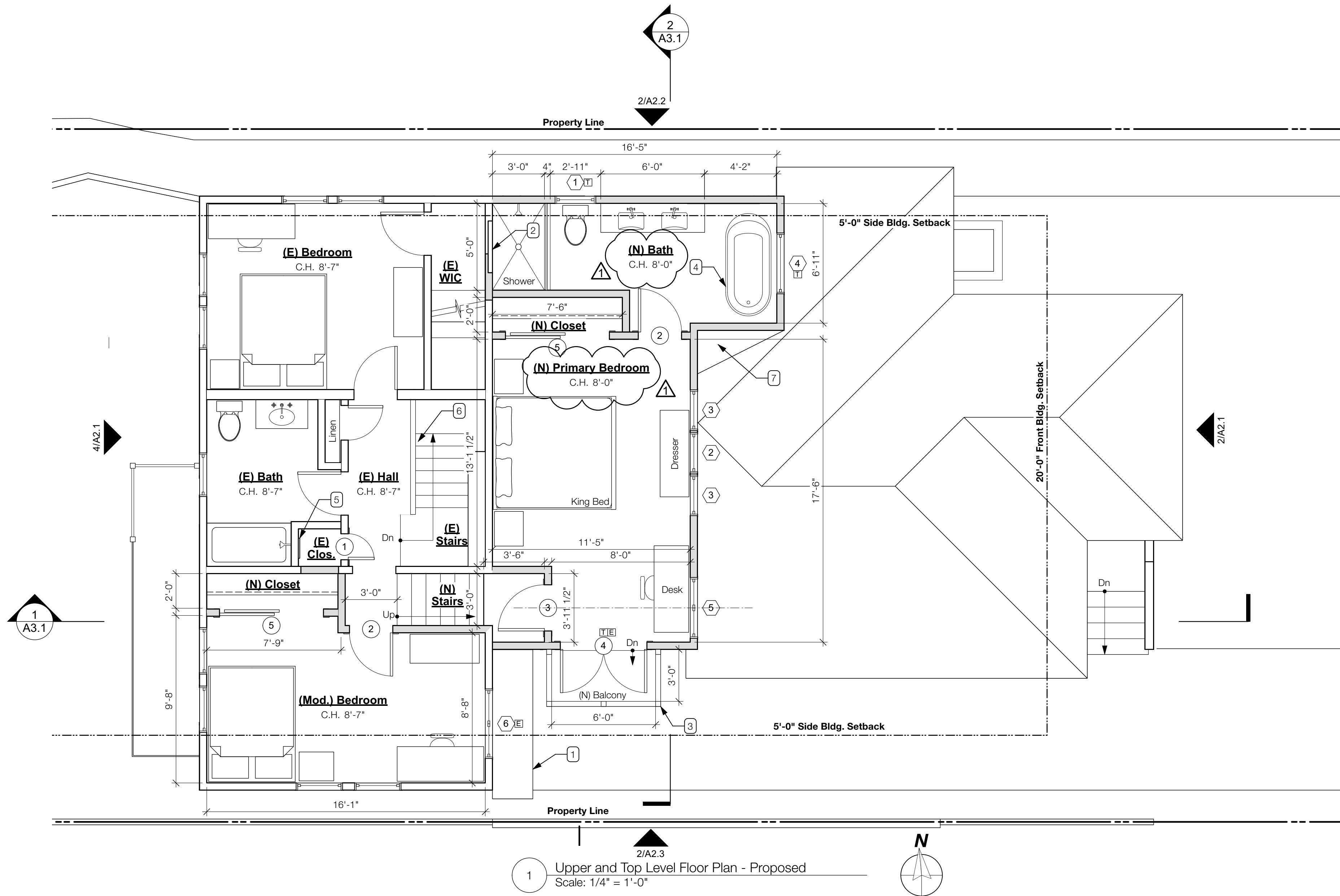
| Proposed Window Schedule                                                                                       |      |                     |       |        |          |        |      |          |         |       |
|----------------------------------------------------------------------------------------------------------------|------|---------------------|-------|--------|----------|--------|------|----------|---------|-------|
| ID                                                                                                             | Qty. | Operation           | Width | Height | Head Ht. | Egress | SGHC | U-Factor | Glazing | Notes |
| Proposed                                                                                                       |      |                     |       |        |          |        |      |          |         |       |
| 1                                                                                                              | 1    | Casement            | 2'4"  | 2'4"   | 6'8"     | No     |      |          | Temp    |       |
| 2                                                                                                              | 1    | Fixed Glass         | 2'4"  | 2'4"   | 6'8"     | No     |      |          |         |       |
| 3                                                                                                              | 2    | Casement            | 2'4"  | 2'4"   | 6'8"     | No     |      |          |         |       |
| 4                                                                                                              | 1    | Awning              | 3'6"  | 2'4"   | 6'8"     | No     |      |          | Temp    |       |
| 5                                                                                                              | 1    | Bi-parting Casement | 3'6"  | 3'6"   | 6'8"     | No     |      |          |         |       |
| 6                                                                                                              | 1    | Bi-parting Casement | 4'0"  | 4'0"   | 6'8"     | Yes    |      |          |         |       |
| NOTE: Contractor to verify dimension of all new windows will fit rough openings prior to placing window order. |      |                     |       |        |          |        |      |          |         |       |

Keynotes

- (E) Roof Below
- (N) Shower Niche
- (N) Balcony and Guardrail
- (N) 72" Freestanding Tub
- (E) Access Panel for Tub/Shower Plumbing
- (N) Cricket in Roof, Dashed Above
- (N) Roof Cricket

Wall Legend

- (E) Wall
- (N) Wall



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Main and Upper Level  
Floor Plans -

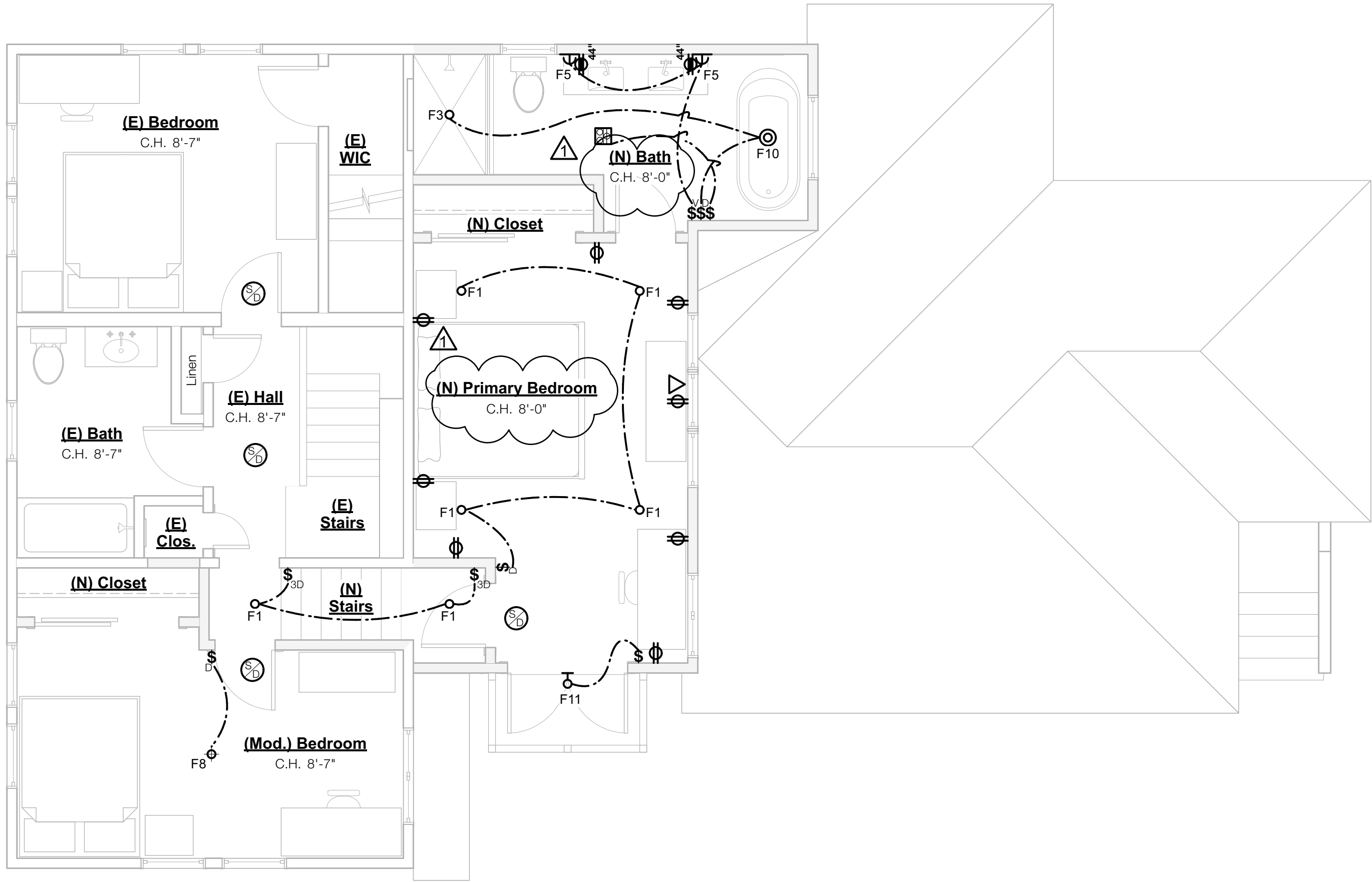
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DATE: 07/16/2025

PROJECT: 25004

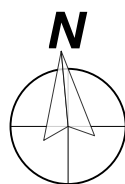
SCALE: 1/4" = 1'-0"

A1.4





1 Upper and Top Level Electrical & Lighting Plan - Proposed  
Scale: 1/4" = 1'-0"



Lighting Schedule

| Contractor to install fixtures and lamping matching these specifications. All lighting to be UL listed; all high-efficacy fixtures to be Energy Star certified. |                                                                                                      |                    |             |               |                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|--------------------|-------------|---------------|-----------------------------------------------------|
| Type                                                                                                                                                            | Description                                                                                          | Lamping            | Wattage     | Efficacy      | Notes                                               |
| F1                                                                                                                                                              | 4 inch, non-adjustable recessed LED lamping in IC-rated housing.                                     | LED 2700k          | 9.5W        | High-Efficacy | CREE EcoSmart 'ECO4' in Halo 'H995ICAT' or similar. |
| F2                                                                                                                                                              | 4 inch, adjustable recessed LED lamping in IC-rated housing.                                         | LED 2700k          | 9.5W        | High-Efficacy |                                                     |
| F3                                                                                                                                                              | 4 inch, non-adjustable recessed LED lamping in IC-rated housing, UL listed for use in wet locations. | LED 2700k          | 9.5W        | High-Efficacy | CREE EcoSmart 'ECO4' in Halo 'H99ICAT' or similar.  |
| F4                                                                                                                                                              | Dimmable, hardwired, linkable undercabinet LED; lengths from 9 in. to 30 in.                         | LED 3000k          | 3.8W to 12W | High-Efficacy | Juno 'ULL-Series' or similar.                       |
| F5                                                                                                                                                              | Bathroom sconce on a dimmer                                                                          | LED 3000k          | Varies      | High-Efficacy |                                                     |
| F6                                                                                                                                                              | Wall sconce on a dimmer.                                                                             | LED 2700k          | Varies      | High-Efficacy |                                                     |
| F7                                                                                                                                                              | Exterior floodlight, controlled by a motion sensor and photo-control device                          | LED 2700k          | Varies      | High-Efficacy |                                                     |
| F8                                                                                                                                                              | Surface-mount ceiling fixture on a dimmer                                                            | LED A19 Base 2700k | Varies      | High-Efficacy |                                                     |
| F9                                                                                                                                                              | Surface-mount ceiling fixture, manual on with a vacancy sensor                                       | LED A19 Base 2700k | Varies      | High-Efficacy |                                                     |
| F10                                                                                                                                                             | Decorative pendant.                                                                                  | LED A19 Base 2700k | Varies      | High-Efficacy |                                                     |
| F11                                                                                                                                                             | Exterior sconce, manual on with motion sensor.                                                       | LED 3000k          | Varies      | High-Efficacy |                                                     |

Electrical Symbols Legend

- ▽ Coax/Tel/Data
- ☉ Light - Pendant
- Light - Recessed Downlight
- Light - Shower Trim Recessed Downlight
- ⌞ Light - Wall Mounted Sconce
- ⊕ Receptacle - Duplex
- ⚡ Recptacle - Dedicated 20-amp GFCI at 44" A.F.F.
- 🌀 Reversible Exhaust Fan
- ⚠ Smoke and Carbon Monoxide Alarms
- \$ Switch
- \$<sub>D</sub> Switch - Dimmer
- \$<sub>3D</sub> Switch - Three Way w/ Dimmer
- \$<sub>V</sub> Switch - Vacancy Sensor

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Electrical and Lighting Plan

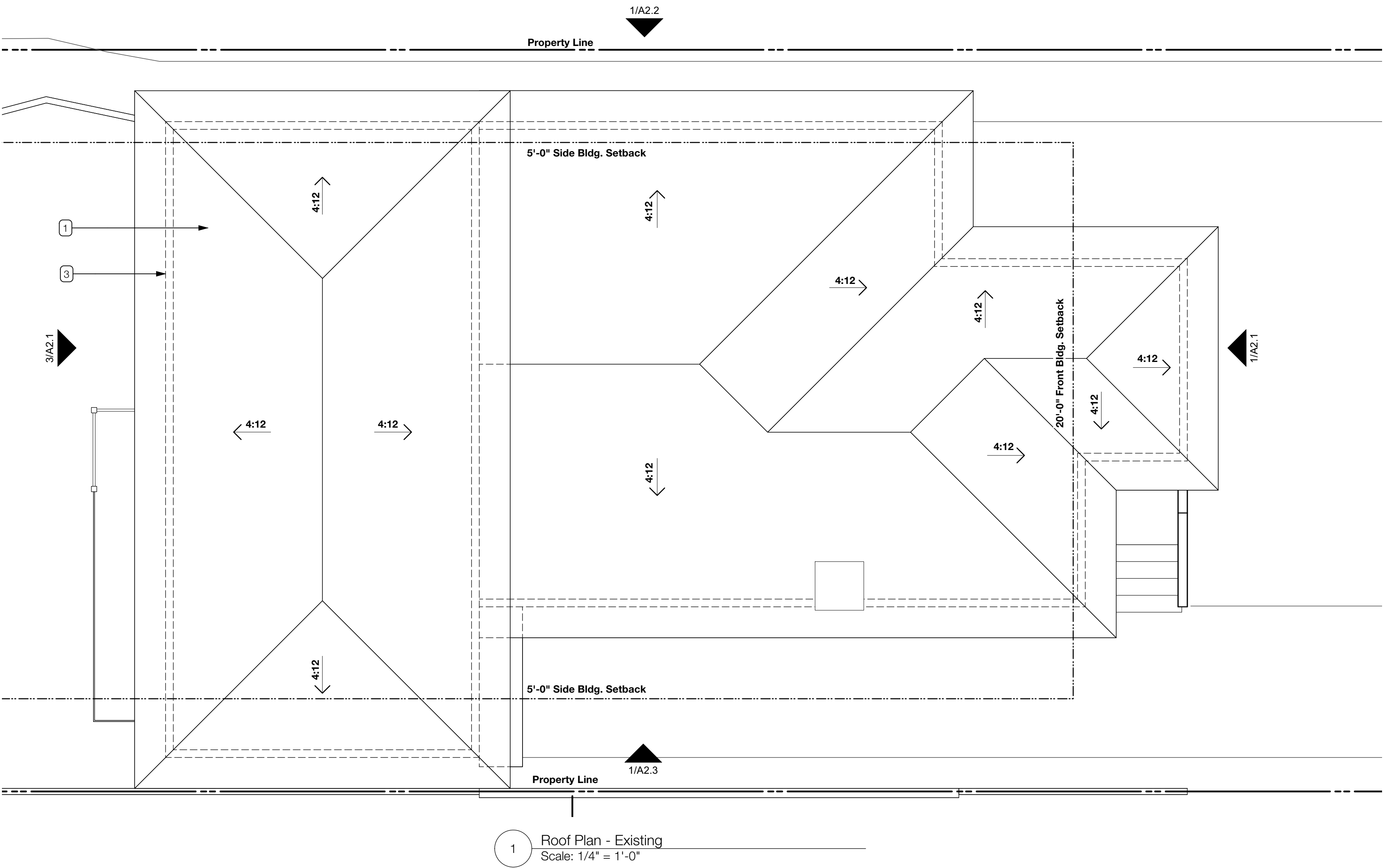
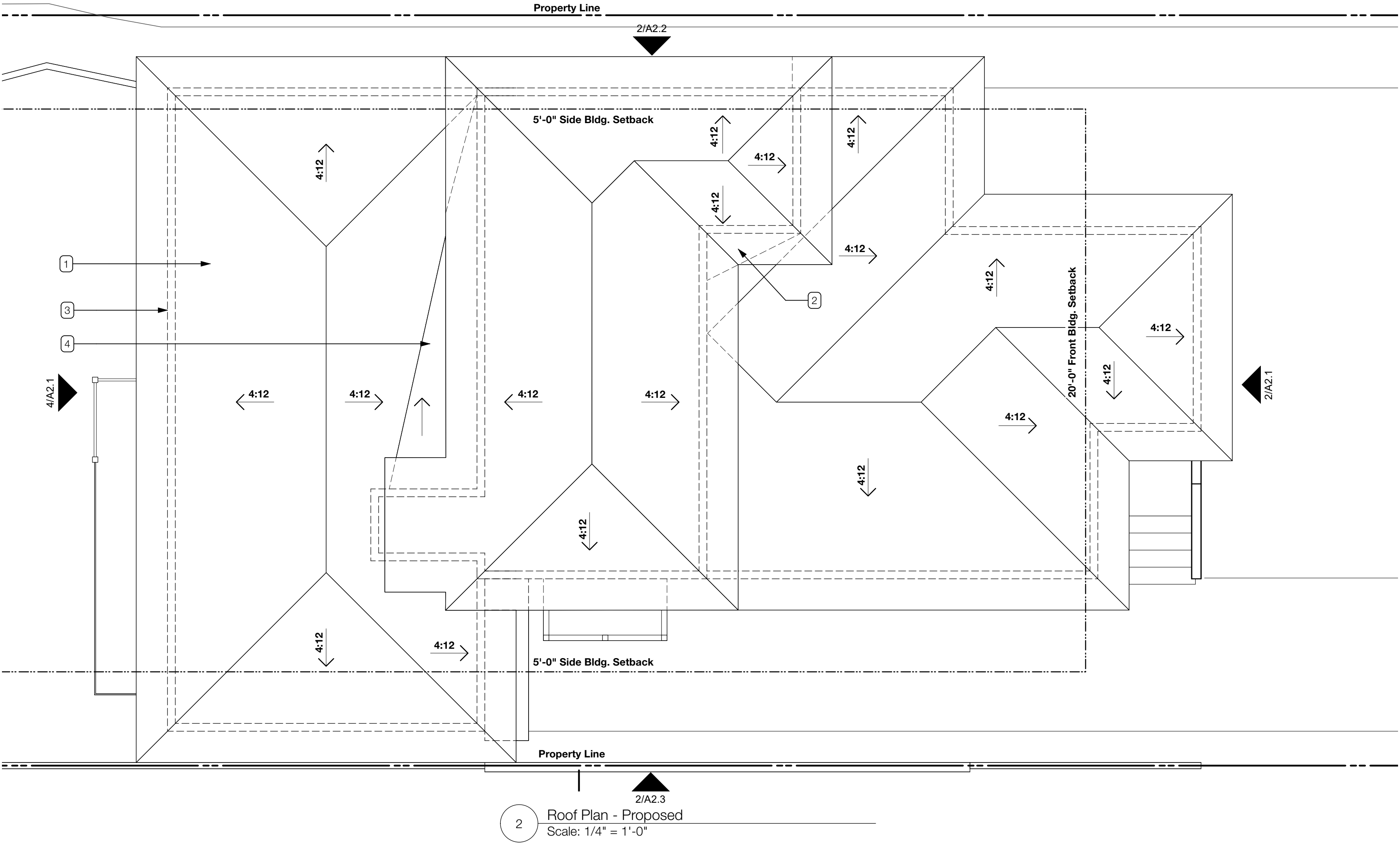
DATE 07/16/2025

PROJECT 25004

SCALE 1/4" = 1'-0"

A1.5





Keynotes

- (E) Asphalt Comp. Roof Shingles
- (N) Roof Cricket Below
- Outline of Walls Above
- (N) Roof Cricket

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|           | 1   | Design Review Comments | 7/11/25 | 25003 - 1713 9th St DDR1.wvx |
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Roof Plans

DATE 07/16/2025

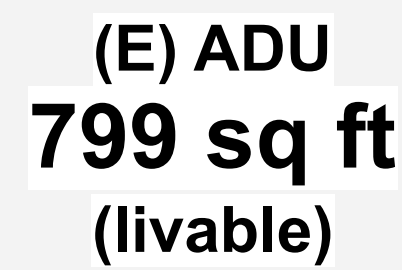
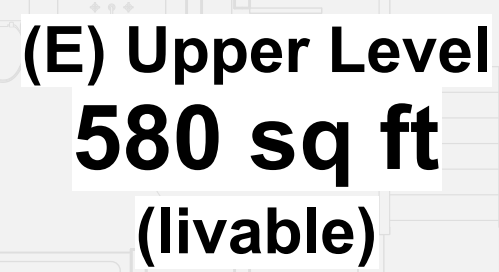
PROJECT 25004

SCALE 1/4" = 1'-0"

A1.6



(E) Area



**1713 9th S**  
**Alameda, CA 94501**

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SD

DE

□ PC

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FILE: 25003 - 1713 9th St DDR1.vwx

Floor Area Diagram -  
Existing

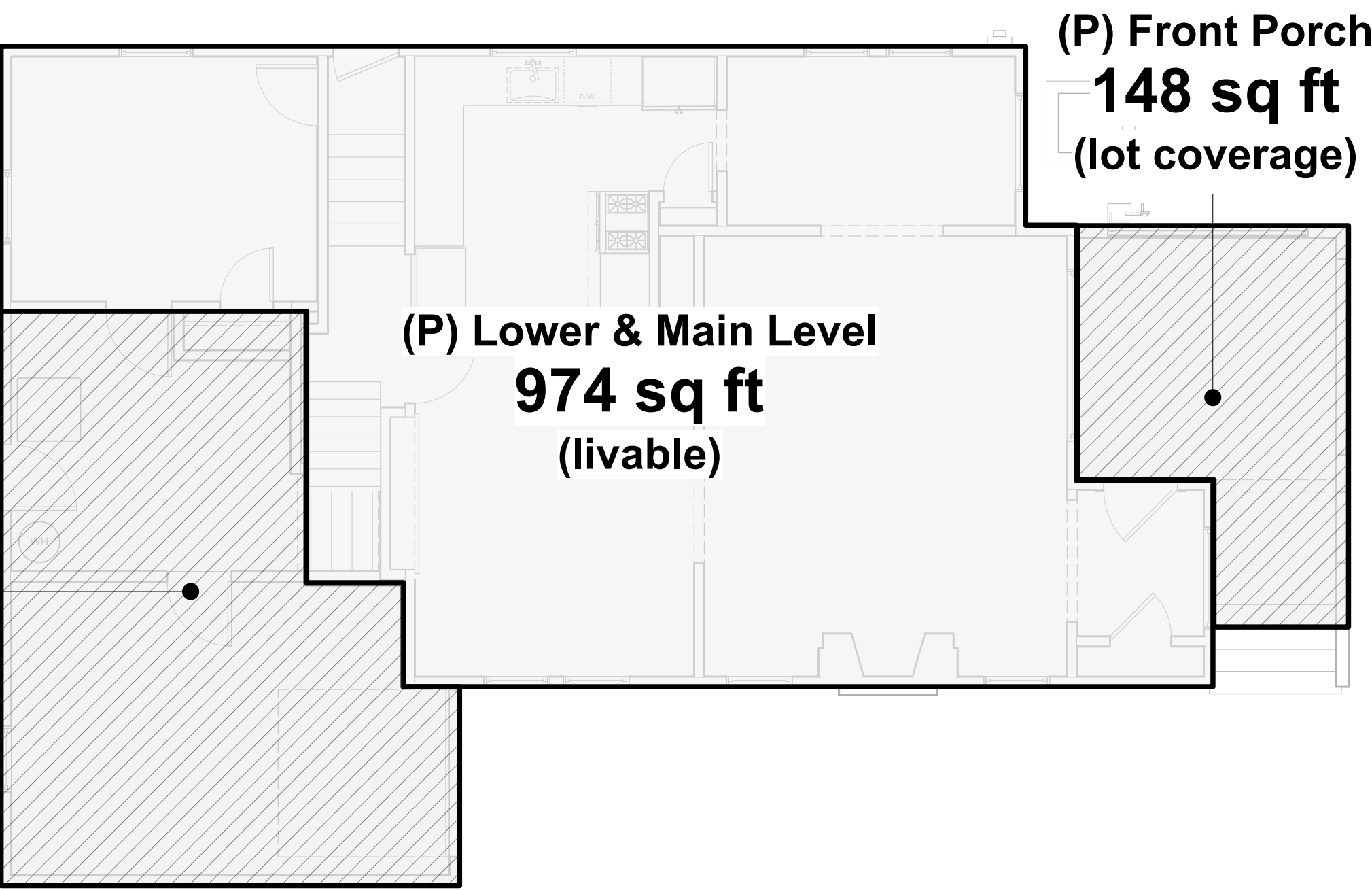
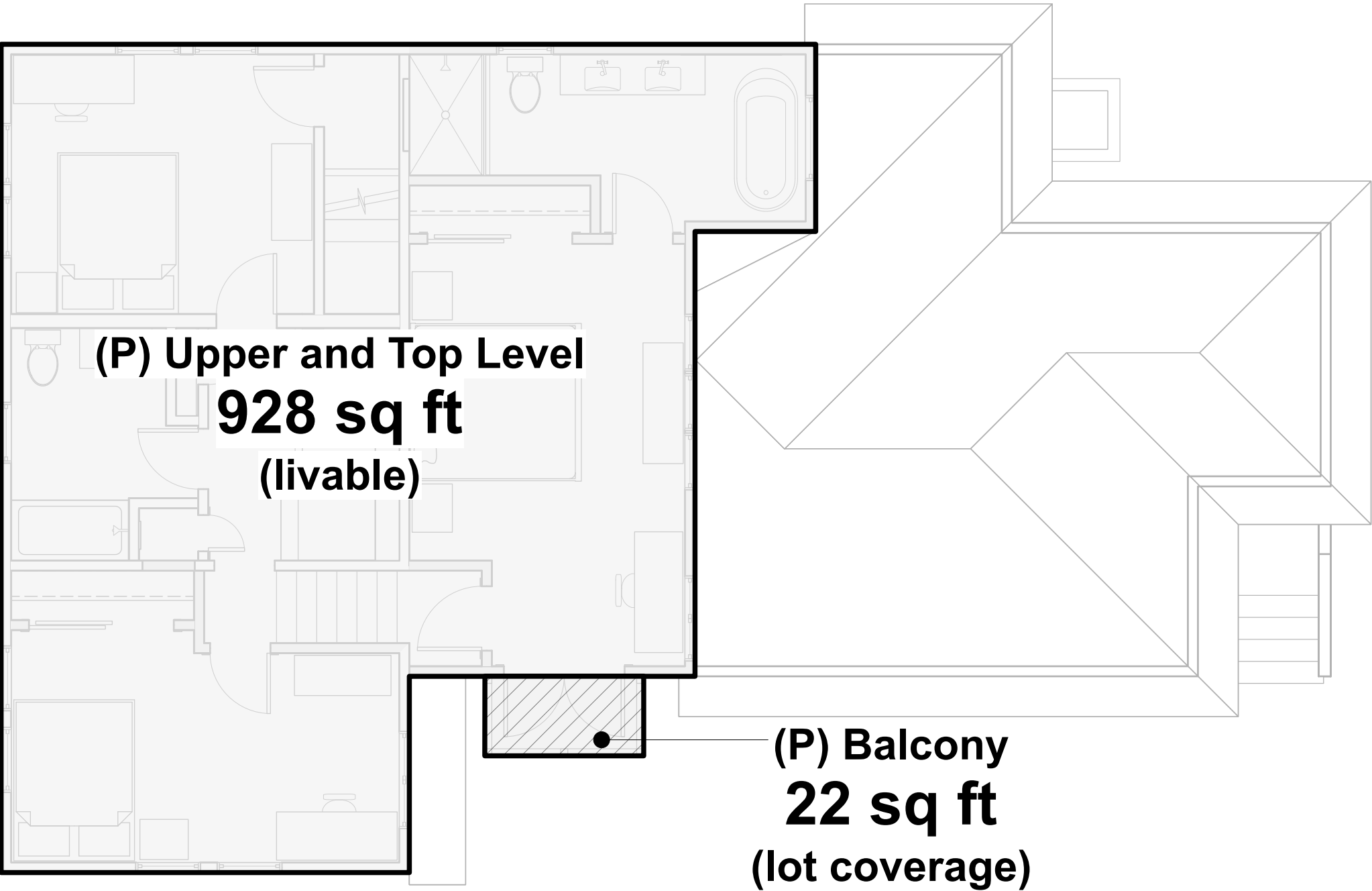
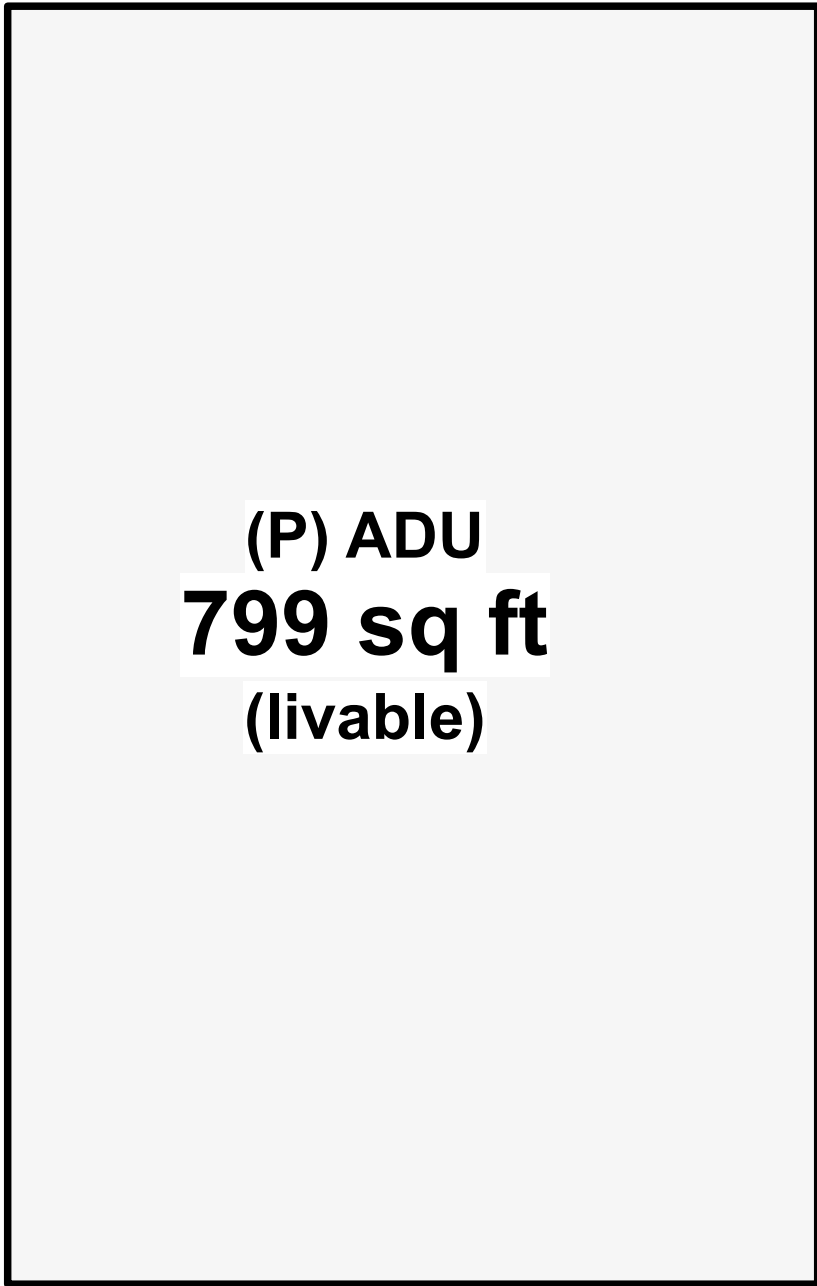
DATE 07/16/2025

PROJECT 25004

SCALE  $1/4" = 1'-0"$

## A1.7





2 Upper and Top Level Floor Area Diagram - Proposed  
Scale: 3/16" = 1'-0"

1 Lower Level Floor Area Diagram - Proposed  
Scale: 3/16" = 1'-0"

1713 9th Street  
Alameda, CA 94601

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ETHAN C ANDERSEN  
C-42335  
07/31/2025  
RENEWAL  
DATE  
STATE OF CALIFORNIA

Architect Coordination

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Floor Area Diagram - Proposed

DATE07/16/2025

PROJECT25004

SCALE1/4" = 1'-0"

A1.8

FILE: 25003 - 1713 9th St DDR1.wvx



Architectural elevation drawing of the south side of a building. The drawing shows a two-story structure with a gabled roof. The roof has a 5'-0" side bldg setback on both sides. The elevation includes various windows: a large double window on the left, a single window in the center, and a double window on the right. The ground level is marked with a dashed line. The drawing is labeled with dimensions and level markers on the right side.

Dimensions and Level Markers (from top to bottom):

- +19'-9 1/2" Ridge
- +17'-6" Ceiling - Top Level
- +14'-0" Ceiling - Upper Level
- +5'-5" FF - Upper Level
- +4'-4" Ceiling - Lower Level
- 2'-10 7/8" Grade
- 3'-4" FF - Lower Level

Other labels and dimensions:

- 5'-0" Side Bldg. Setback (on both sides of the roof)
- 12 (dimension for the roof slope)
- 4' (dimension for the roof slope)
- 22'-8 3/8" (overall height from ground to ridge)
- 12 (dimension for the ground level setback)
- 13 (dimension for the upper level setback)
- 5 (dimension for the upper level setback)

This architectural elevation drawing shows a two-story building facade with a gabled roof. The drawing includes numerous annotations and callouts:

- Vertical Level Markers (Left):**
  - +19'-9 1/2" Ridge
  - +17'-6" Ceiling - Top Level
  - +14'-0" Ceiling - Upper Level
  - +9'-6" FF - Top Level
  - +5'-5" FF - Upper Level
  - +4'-4" Ceiling - Lower Level
  - 3'-4" FF - Lower Level
- Vertical Level Markers (Right):**
  - +17'-6" Ceiling - Top Level
  - +9'-6" FF - Top Level
  - +8'-6" Ceiling - Main Level
  - 0'-0" FF - Main Level
  - 3'-4" Grade
- Horizontal Dimensions:**
  - 5'-0" Side Bldg. Setback (top left and top right)
  - 23'-1 1/2" (overall width)
  - 8'-0" (width of the cloud-shaped callout)
- Callouts and Annotations:**
  - Callout 1: A cloud-shaped callout containing level markers +17'-6" Ceiling - Top Level, +9'-6" FF - Top Level, and +8'-6" Ceiling - Main Level.
  - Callout 2: A rectangular callout containing level markers +9'-6" FF - Top Level and +8'-6" Ceiling - Main Level.
  - Callout 3: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 4: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 5: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 6: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 7: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 8: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 9: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 10: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 11: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 12: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 13: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 14: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.
  - Callout 15: A rectangular callout containing level markers +4'-4" Ceiling - Lower Level and -3'-4" FF - Lower Level.

Architectural elevation drawing of the front of a building. The drawing shows a two-story structure with a gabled roof. The roof has a 5'-0" side setback on both sides. The building has several windows: a large double window on the left, a single window in the center, and a double window on the right. There is a small square window above the central window. The building is set back from the street by 5'-0" on both sides. The drawing includes level markers: +17'-1 7/8" Ridge, +14'-0" Ceiling - Upper Level, +5'-5" FF - Upper Level, +4'-4" Ceiling - Lower Level, -2'-10 7/8" Grade, and -3'-4" FF - Lower Level. Callouts 7, 12, 13, and 5 point to specific features.

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a central gabled section and side wings. Key features include:

- Levels and Elevation Markers (Left Side):**
  - +17'-1 7/8" Ridge
  - +14'-0" Ceiling - Upper Level
  - +5'-5" FF - Upper Level
  - +4'-4" Ceiling - Lower Level
  - 3'-4" FF - Lower Level
- Levels and Elevation Markers (Right Side):**
  - +8'-6" Ceiling - Main Level
  - 0'-0" FF - Main Level
  - 3'-4" Grade
- Dimensions and Setbacks:**
  - 5'-0" Side Bldg. Setback (on both sides)
  - 20'-5 7/8" (Overall height from FF - Lower Level to Ridge)
- Callouts and Details:**
  - Callout 7 points to the roofline on the left side.
  - Callout 8 points to a window on the left side.
  - Callout 15 points to a window on the central gabled section.
  - Callouts 5, 13, 4, 3, and 14 point to various structural elements on the right side, including a door and wall details.

- ## Keynotes
1. (N) Painted Ext. Cement Plaster Finish to Match (E)
  2. 20'-0" Front Bldg. Setback
  3. AC Unit
  4. (E) 100A main panel and meter
  5. (E) Painted Ext. Cement Plaster Finish
  6. (N) Asphalt Comp. Roof Shingles to Match (E)
  7. (E) Asphalt Comp. Roof Shingles
  8. (E) Vinyl Windows to be Removed, Shown Dashed
  9. (N) Vinyl Windows to Match (E)
  10. (N) Wood Balcony and Guardrail
  11. (N) Roof Cricket
  12. (E) Wood Fence
  13. (E) Vinyl windows
  14. (E) Gas Meter
  15. (E) Chimney

**1713 9th Street**  
Alameda, CA 94501

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### Existing & Proposed Elevations

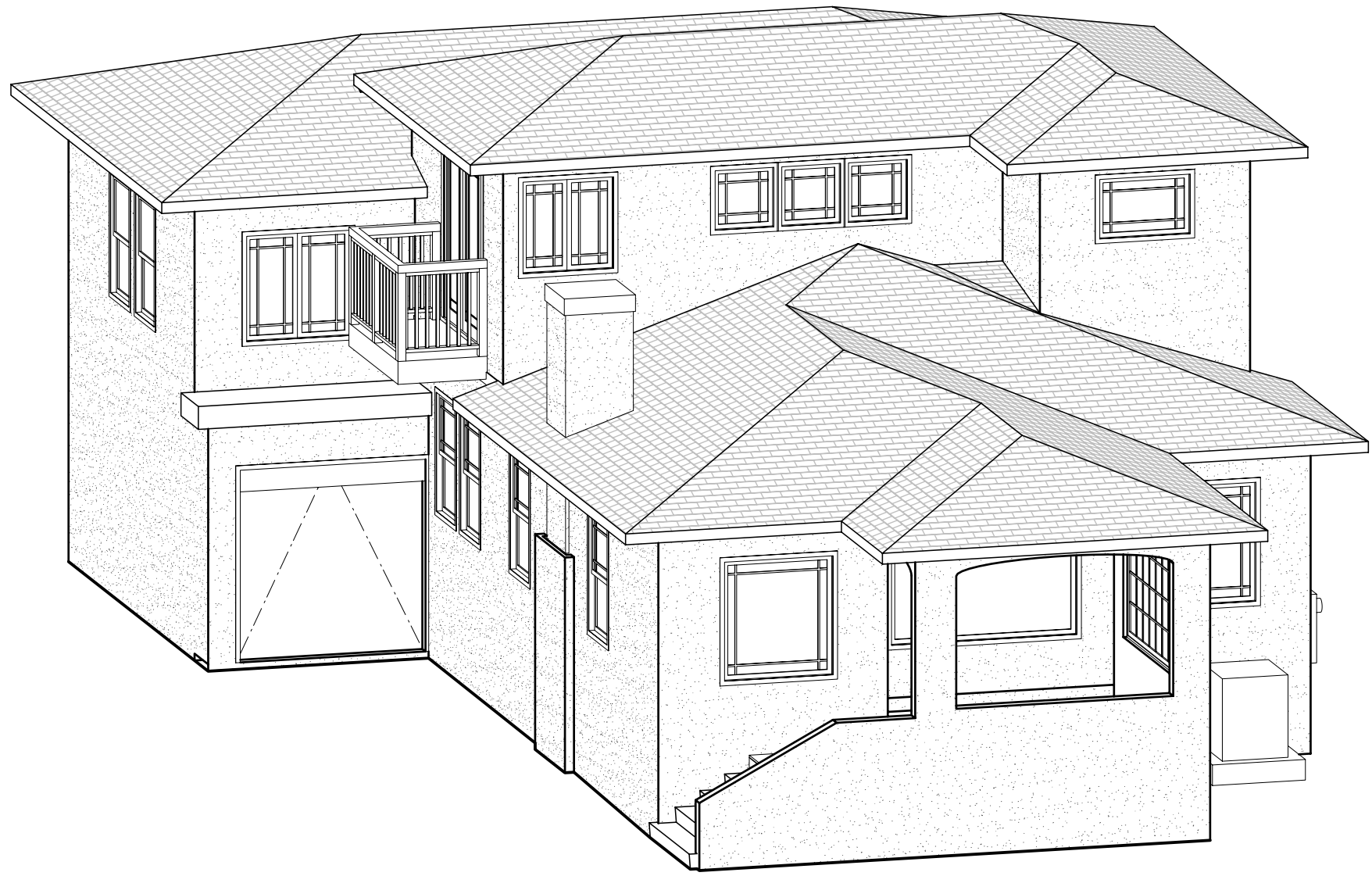
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SUBJECT 25004

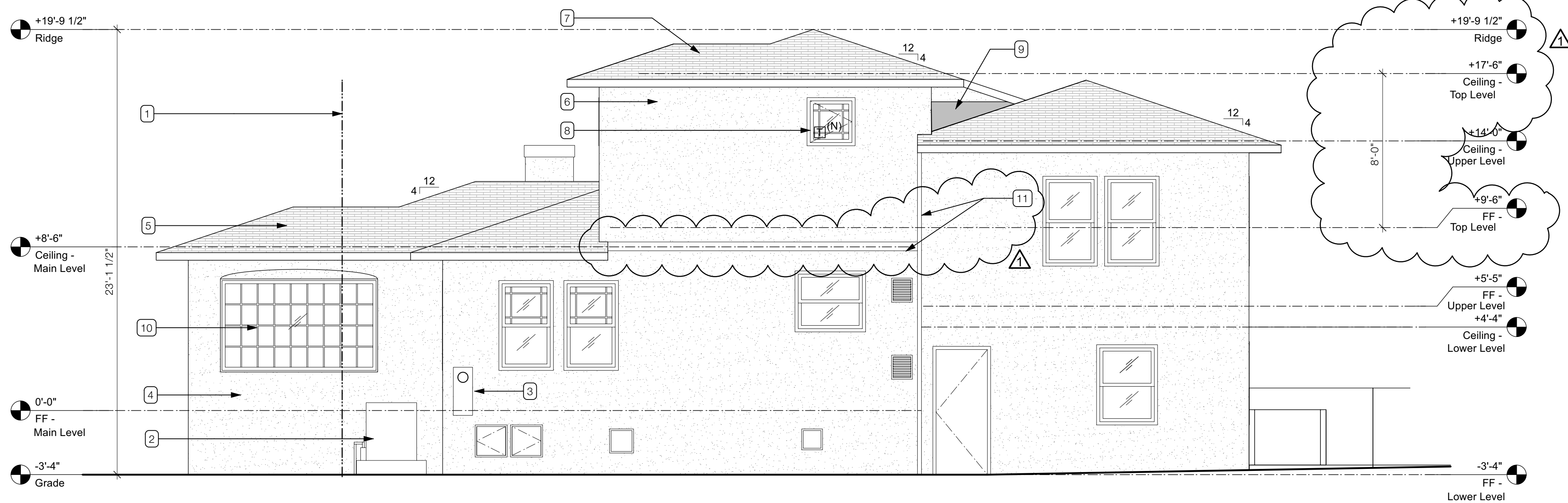
$1/4'' = 1'-0''$

## A2.1

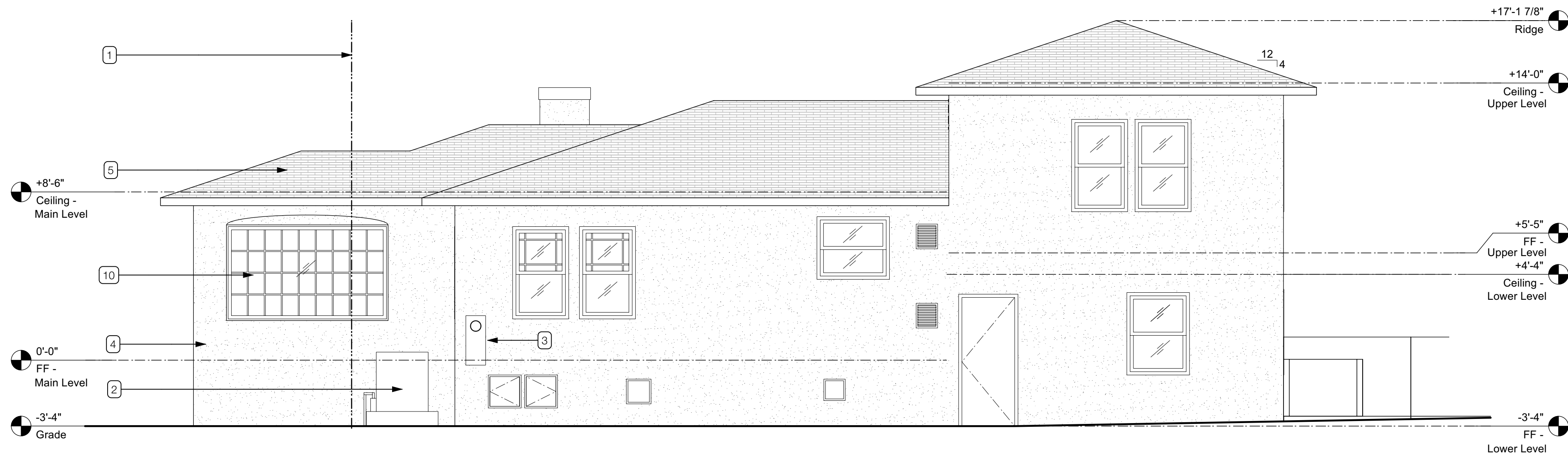




3 Front Perspective View  
Scale: 3/16" = 1'-0"



2 North (Side) Elevation - Proposed  
Scale: 1/4" = 1'-0"



1 North (Side) Elevation - Existing  
Scale: 1/4" = 1'-0"

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### Existing & Proposed Elevations

DATE 07/16/2025

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SCALE 1/4" = 1'-0"

A2.2



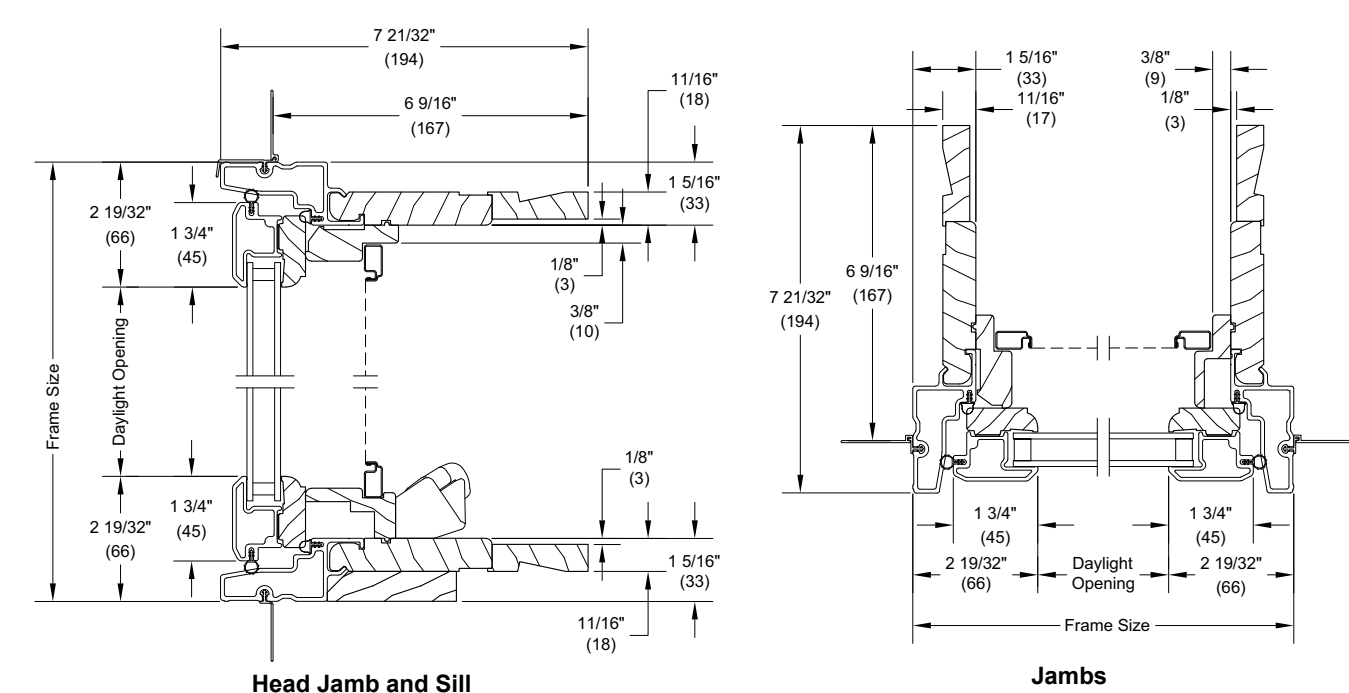


Scale: 3" = 1' 0"

Operating - 4 9/16 (116)

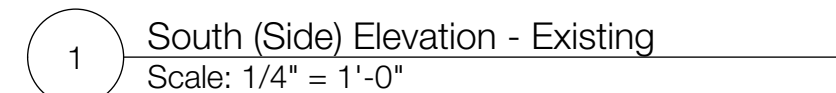
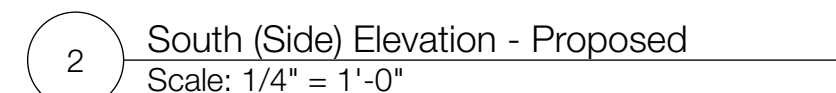
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Operating - 6 9/16" (167)



11708532  
Architectural Detail Manual

3 Marvin Elevate Window Details  
Scale: 3" = 1'-0"



1. 20'-0" Front Bldg. Setback
2. (E) Asphalt Comp. Roof Shingles
3. (N) Asphalt Comp. Roof Shingles to Match (E)
4. (N) French Doors
5. (N) Wood Balcony and Guardrail
6. (N) Painted Ext. Cement Plaster Finish to Match (E)
7. (E) Painted Ext. Cement Plaster Finish
8. (N) 4" Wood Trim with Metal Z Flashing Above; Align Top of Trim with Roof at Wall

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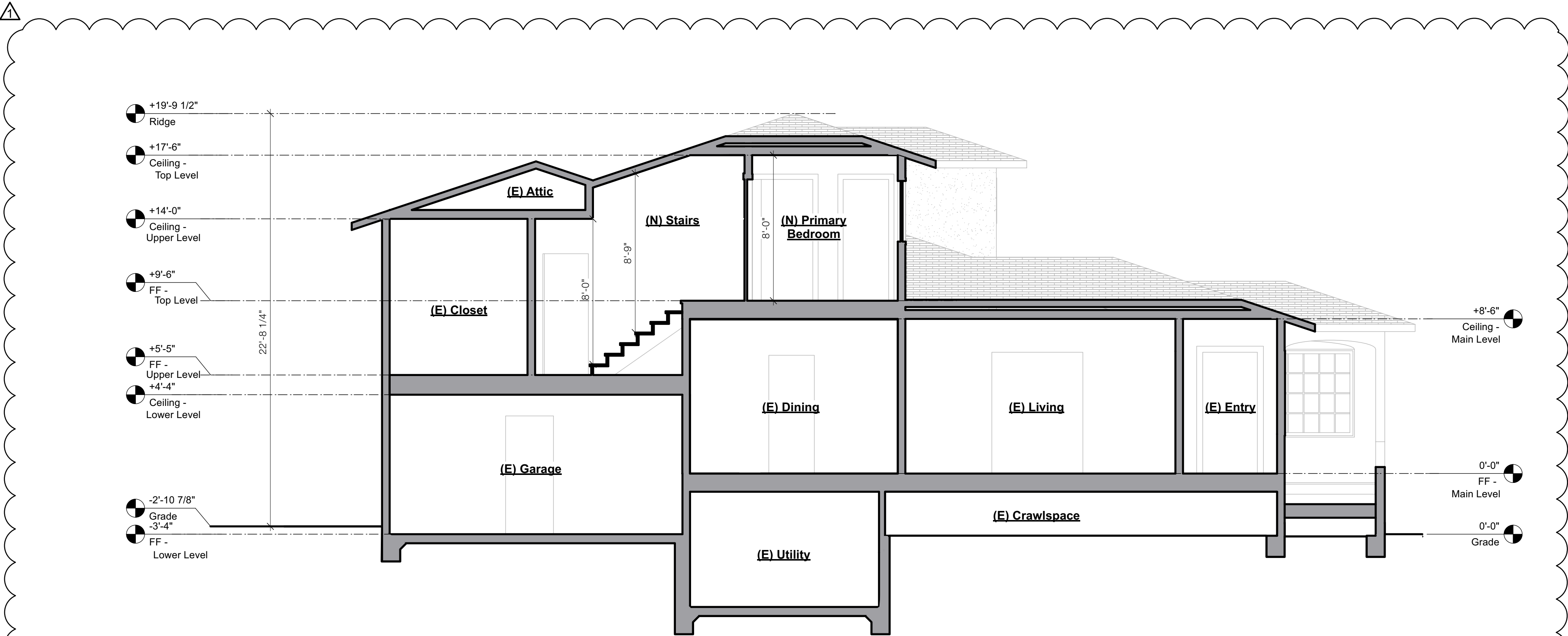
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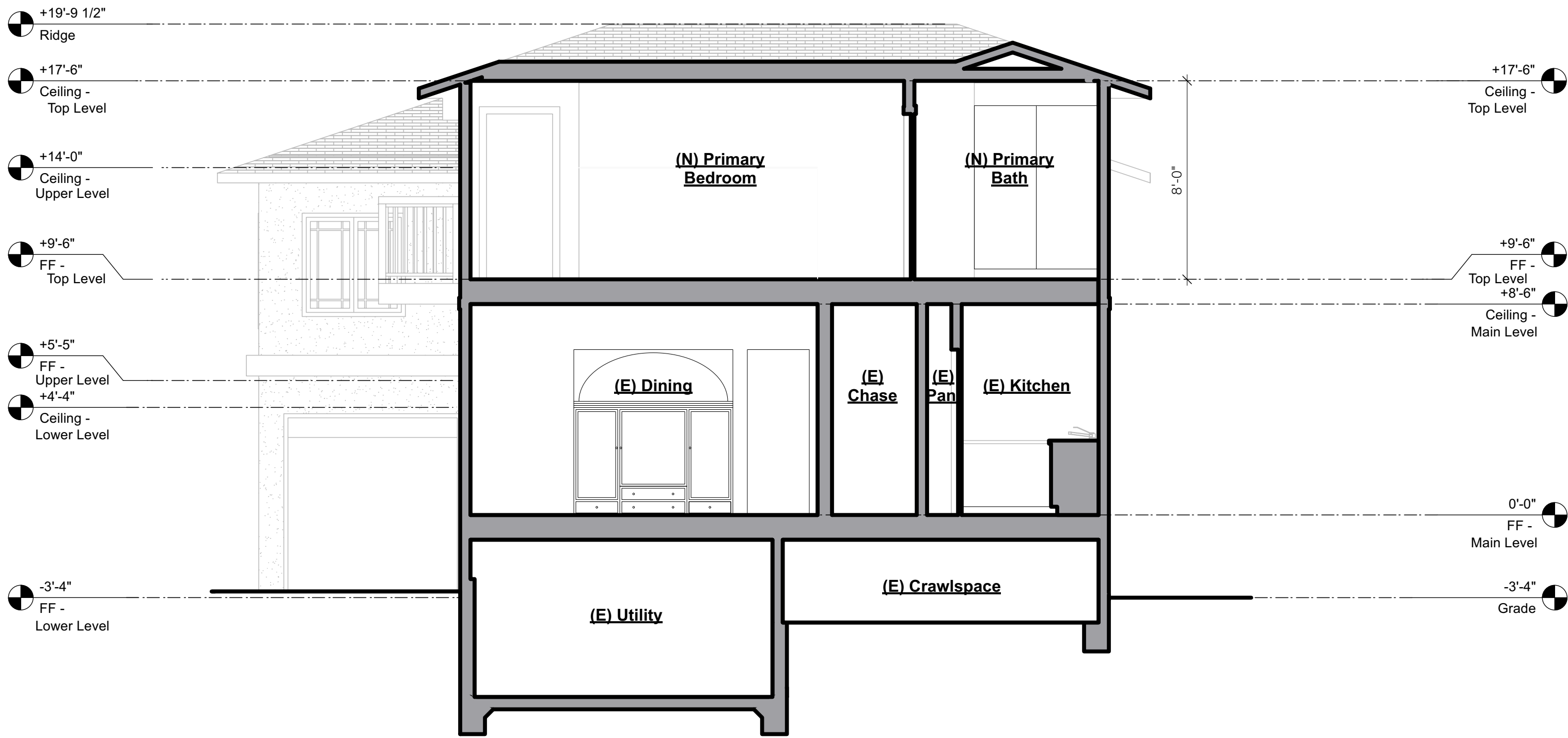
SCALE  $1/4" = 1'-0"$

## A2.3





1 Building Section  
Scale: 1/4" = 1'-0"



2 Building Section  
Scale: 1/4" = 1'-0"

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Proposed Building  
Sections

DATE 07/16/2025

PROJECT 25004

SCALE 1/4" = 1'-0"

A3.1