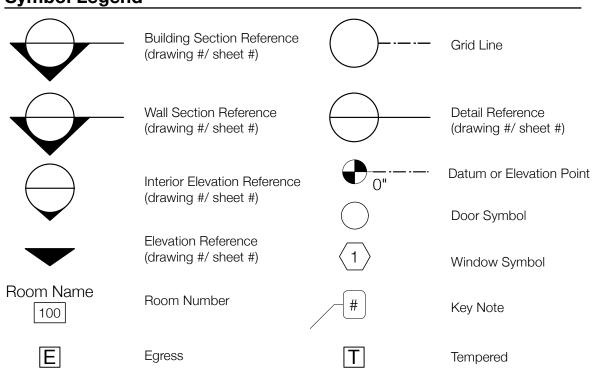
#### **General Notes**

- 1. All work and materials to conform to the requirements of local and state codes and the specifications of the National Board of Fire Underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located.
- 2. Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any disrepancies to the Architect for correction before beginning any work.
- 3. Do not scale drawings. All written dimensions govern.
- 4. The Architect is not responsible for any deviations from the plans and
- specification information.
- 5. The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.
- 6. The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

#### Symbol Legend



# **Abbreviations**

AD ADJ AFF AGGR	Area Drain sf Above Finish Floor Aggregate	MECH MIN MTL	Mechanical Minimum Metal
ARCH ASPH	Architectural Asphalt sf	(N) NIC NTS	New Not In Contract Not To Scale
BLDG BLK BLKG BO BW	Building Block Blocking Bottom of Bottom of Wall	OBS OC OD OPN'G	Obcure On Center Outside Diameter Opening
CPT CAB CJ CL CLOS CLG CLR	Carpet Cabinet Construction Joint Center Line Closet Ceiing Clear	PLAM PL PLT PLYWD PT	Plastic Laminated Property Line Steel Plate Plywood Point
CCR CO COL COMC CONT CSMT CT	Clean Out Column Concrete Continuous Casement Ceramic tile Counter Sink	R RAD RET R/A RD RD REF	Riser Radius Retaining Return Air Round Roof Drain
DEMO DET DH DF DIAG DIM DWGS	Demolition Detail Double Hung Douglas Fir Diagonal Dimension Drawings	REG REINF REQ'D RO RWD RWL	Refrigerator Register Reinforced Required Rough Opening Redwood Rain Water Leader
DN DS (E) EJ EL EQ EXT	Down Downspout  Existing Expansion Joint Elevation Equal Exterior	SAG SV SH SHT SIM SM SQ SSD	Supply Air Grill Sheet Vinyl Single Hung Sheet Similar Sheet Metal Square See Structural Drawings
FD FF FIN FOC	Floor Drain Finish Floor Finish Face Of Concrete	SS STD STL STRUC	Stainless Steel Standard Steel Structural
FOS FOW FTG	Face Of Stud Face Of Wall Footing	T TC TEMP TJI	Tread Top Of Curb Tempered Glass Truss Joist
GA GALV GWB GL GLU LAM	Gauge Galvanized Gypsum Wall Board Glass Glue Laminated	TO TOC TYP TW TS	Top Of Top Of Concrete Typical Top of Wall Tube Steel
GSM	Galv. Sheet Metal	UON	Unless Othewise Noted
H B HGT HM HOR HP	Hose Bibb Height Hollow Metal Horizontal High Point	VERT VIF VTO	Vertical Verify In Field Vent To Outside With
ID INSUL INT	Inside Diameter Insulation Interior	W/C WD W/H WP WPT	Water Closet Wood Water Heater Waterproof Work Point
JBOX JT	Junction Box Joint	YD	Yard
LAM	Laminated		

Lavatory Low Point

#### **Project Team**

#### <u>Client</u>

Mark and Elaine Cline 1401 Gibbons Avenue Alameda, CA 94501

#### **Architect:**

#### **Drafting Cafe Architects**

Ethan Andersen, AIA 2350 Saratoga St Unit 155 Alameda, CA 94501 T 510-251-2511

Development Information				
Zoning District	R-1			
Occupancy Code	Type U			
Construction Type	Type VB			
Areas	Existing	Proposed	Allowable	
Total Lot Area sf	4,935 sf	4,935 sf	_	
Total Lot Coverage Area	181 sf	181 sf	-	
Setbacks				
Rear	6'-4"	9'-5"	4'-0"	
Side (Right)	0'-6"	0'-6"	4'-0"	
Building Height				
Max. Height	8'-5 7/8"	10'-5"	15'-0"	

Dwelling is **NOT** equipped with an automatic fire sprinkler system.

Dwelling IS NOT LOCATED in a Very High Fire Hazard Severity Zone

#### **Codes and Regulations**

- 2022 California Building Code
- 2022 California Residential Code
- 2022 California Mechanical Code
- 2022 California Electrical Code 2022 California Plumbing Code
- 2022 California Green Building Code
- 2022 California Energy Code
- 2022 California Fire Code

Site Photos

Local codes, amendments and ordinances

# **Project Description**

#### Existing shed to be converted to an accessory structure (hang-out space) in same footprint as existing accessory structure with lighting/electrical; no plumbing or HVAC.

### **Property Information**

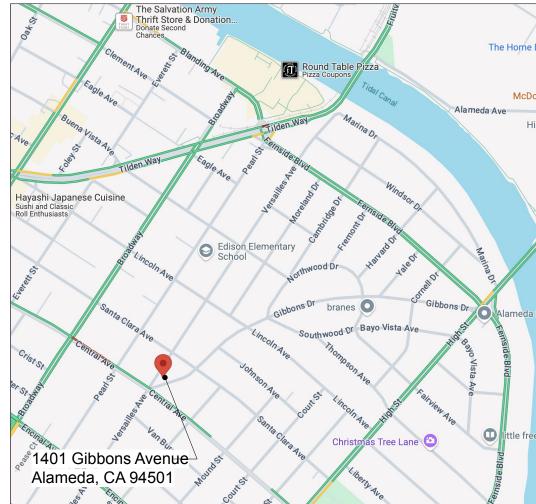
69-110-21

Address: 1401 Gibbons Avenue Alameda, CA 94501

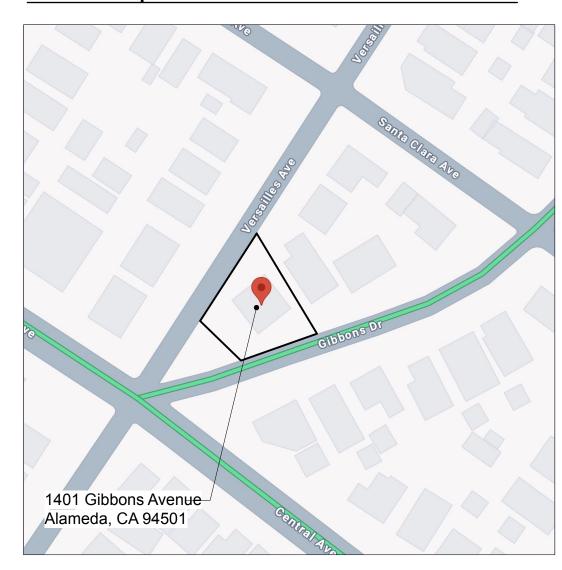
### **Drawing List**

- <u>Architectural</u> A0.1 Cover Sheet
- A0.2 Window Specification
- A0.3 Window Specification
- A1.1 Site Plan Existing
- A1.2 Site Plan Proposed A1.3 Main Level Floor Plans - Existing
- A1.4 Main Level Floor Plans Proposed
- A1.5 Roof Plans, Floor Area Diagram
- A1.6 Electrical and Lighting Plan Proposed
- A2.1 South (Front) & East (Side) Elevations, Building Section
- A2.2 North (Rear) & West (Side) Elevations, Building Section

#### Vicinity Map



# **Location Map**



# Gibbons, CA 94501

**1401**Alameda.

# DRAFTING CAFE ARCHITECTS

T: 510-251-2511 F: 510-735-9797 E: info@draftingcafe.com www.draftingcafe.com



# Cover Sheet

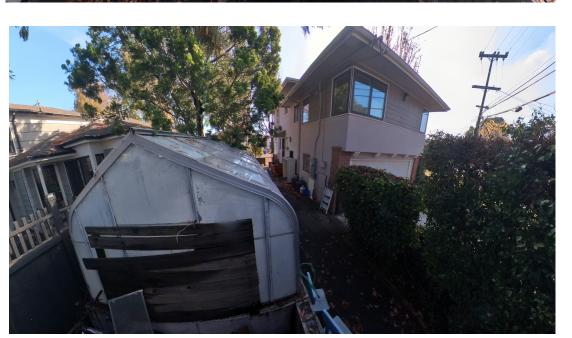
PROJECT

07/24/2025

24030 1" = 10'-0"







4. Hardware:

3. Structural Class: AP-C35.

3. Structural Class: F-C50.

3. Structural Class: F-C50.

4. Weatherstripping: Foam filled seal.

3. Structural Class:

2. Structural Class: F-C40

3. Assembly posts at 45 degrees.

A. Insulated Glass Units: ASTM E 774, Class A

Ultra™ Series | C650 Windows

or in window schedule.

2. Overall IG Unit Thickness:

a. 7/8"

3. Spacer Type: (Specify)

4. Gas Filled: (Specify)

a. Argon

b. None

5. Glass Thickness: (Specify)

A. Internal Grid (Grids Between Glass / GBG):

B. Simulated Divided Lite (SDL): (Specify)

1. Width: (Specify)

b. Foam spacer

a. Stainless steel spacer

a. Per Manufacturer's Specifications

b. Special: Per Manufacturer's Approval

radius units, and gable units.

2.7 GRIDS/GRILLES/MUNTINS:

3-Part Specification

1. Glazing Type: Dual or Triple Glaze (Specify)

b. SunCoatMAX® Low-E/Clear

c. SunCoat® Low-E/Clear/ SunCoat® Low-E

d. SunCoatMAX® Low-E/Clear/ SunCoatMAX® Low-E

e. [Tinted] [Obscure-several types] [Specialty] – Per Approval

including tinted, reflective, tempered, obscure, wire, and laminated, are available for special

Specifier Note: Most common types of insulated units are included above, but several other types,

applications. Select desired types from Milgard website and specify in lieu of, or in addition to, the

above with all necessary criteria such as tint colors and obscure patterns. If more than one type of

glazing is required for the Project, be certain that type for each window is clearly noted on drawings

Specifier Note: Warm edge spacers are not available on some units, including certain oversize units,

1. 3/32", 1/8", 3/16", 1/4", 7/32" Laminate, Other

Specifier Note: Select desired muntin type, if any, from the following list and delete those not used.

Standard horizontal/vertical grid pattern will be provided unless other grid patterns are shown on

Specifier Note: Exterior applied grids match exterior color of window and interior applied grids match

More Technical Documents can be found at milgard.com/professionals

1. Vintage: 1-1/8" wide profiled painted wood grid applied to interior glass, 7/8" wide aluminum box

spacer internal grid, and 1-1/8" wide trapezoidal fiberglass grid applied to exterior glass.

the drawings. Certain grid patterns may not be available with one or the other bar types in the

a. 5/8" wide rectangular/flat aluminum bar internal muntin

b. 1-1/16" wide sculptured aluminum bar internal muntin

following paragraphs - consult Milgard for design other than standard patterns.

a. SunCoat® Low-E/Clear

2.6 GLAZING

b. Dual lever locking system.

c. Two bar stainless steel hinge.

5. Weatherstripping: Vinyl compression bulb seal.

2. Sash: 2-3/8" minimum depth. Multi-chambered fiberglass pultrusion.

a. Single-arm steel rotary scissor operator with fold-down handle.

E. <u>Picture Window</u> – 3310 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin]

F. <u>Picture Window</u> – 3315 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin]

G. Picture Window – 3371 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin]

1. Frame: [3-1/4" minimum depth] [4-1/4" minimum depth]. Extruded aluminum profile with integral

2. Unit configuration and window types as shown on Drawings; mulled together to form single window

1. Frame: 3-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

1. Frame: 4-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

1. Frame: 4-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

2. Sash: 1-9/16" minimum depth. Multi-chambered fiberglass pultrusion.

I. <u>Bay Window</u> – 3310 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin]

More Technical Documents can be found at milgard.com/professionals

1. Frame: 3-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

2. Sightlines: Equal to operating windows (except double hungs).

2. Sightlines: Equal to operating windows (except double hungs).

a. 71-1/2" x 71-1/2" and smaller: FW-HC40.

H. Radius – 3710 Series [1-3/8" nail fin setback] [1" nail fin setback]

wood liner. (Note: this is not a fiberglass product)

3-Part Specification

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reinforcement details.

B. Quality Assurance/Control Submittals:

Installation").

3. Special Warranties.

B. Manufacturer Qualifications:

2. Member AAMA & NFRC.

C. Regulatory Requirements and Approvals:

D. Certifications for Insulated Glass Units:

added to permanent AAMA frame label.

1.4 DELIVERY, STORAGE and HANDLING

construction delays.

to materials.

Specifier Note: Insert local regulatory requirements

3. Samples: Submit selection samples for verification, include the following:

1. Temporary window labels to identify windows that labels were applied to.

A. Overall Standards: Comply with ANSI/AAMA/101/I.S.2. except where noted herein.

A. General: Reference Section 01 66 00 – Product Storage and Handling Requirements.

3.2. Glass, showing specified tint color. (Specify)

1. Qualifications: Proof of Manufacturer's qualifications.

C. Closeout Submittals: Reference Section 01 78 00 – Submit following items:

2. Owner's Manual/Maintenance Instructions.

1. Minimum 10 years experience in producing vinyl windows.

3.1. Exterior Color: Minimum 1x4 color chips on fiberglass substrate: (Specify)

2. U-Factor and Structural Rating charts required for NFRC and AAMA labeling requirements.

3. Installation Instructions: AAMA 2400, ("Mounting Flange Installation") or AAMA 2410 ("Flush Fin

1. Insulated glass units are certified to ASTM E2188/E2190 per the Associated Laboratories Incorporated

E. AAMA: Windows shall be Silver Label certified with label attached to frame per AAMA requirements.

B. Comply with Manufacturer's/Dealer's ordering instructions and lead time requirements to avoid

C. Delivery: Deliver materials in Manufacturer's standard packaging for protection of product.

F. NFRC: Windows shall be NFRC certified with temporary U-factor label applied to glass and an NFRC tab

D. Storage & Protection: Store products away from exposure to environmental conditions that may be harmful

E. Store materials off ground in an upright position. Provide cover from weather and construction activity.

More Technical Documents can be found at milgard.com/professionals

**3-Part Specification** 

1.3 QUALITY ASSURANCE

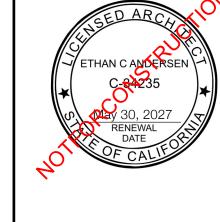
ibb() v 94501

**5** 

40



E: info@draftingcafe.com www.draftingcafe.com



3-Part Specification

2. Shop Drawings: Include window schedule, elevations, sections, details, & multiple-window assembly details. Include head, sill & jamb conditions; operable parts & direction/handing; and special mullion

Edit carefully to suit Project requirements. Modify as necessary and delete items that are not applicable. Verify that

This Section assumes the Project Manual will contain complete Division 1 documents, including Sections 01 25 13 Product Substitution Procedures, 01 33 00 – Submittal Procedures, 01 62 00 – Product Options, 01 66 00 – Product Storage and Handling Requirements, 01 7400 – Cleaning and Waste Management, 01 77 00 - Closeout Procedures, and 01 78 00 – Closeout Submittals. Close coordination with Division 1 Sections is required. If the Project Manual does not contain these Sections, additional information should be included under the appropriate articles.

This is an open proprietary specification allowing users the option of approving other manufacturers that comply with the criteria specified herein.

OR

**Bold face** type identifies optional paragraphs and features that may be included or deleted depending on Project

Revise footer to suit Project/Office requirements.

Electronic versions of this specification utilize automatic paragraph numbering. When editing is complete, delete all text on this page, then remove the section break at the top of the next page to remove this page from the document.

More Technical Documents can be found at milgard.com/professionals

Ultra™ Series | C650 Windows

3-Part Specification

Document #/Rev. 3.26.21

# **SECTION 08 54 13** MASTER FORMAT™ 2004 EDITION **FIBERGLASS WINDOWS**

PART 1 – GENERAL

Specifier note: information & data contained in this Guide is accurate as of July 2015. Due to ongoing product updates, data may change over time. Please contact your local Milgard Representative for complete product details. Please visit milgard.com for the latest updates.

1.1 SUMMARY

A. Section Includes:

 Horizontal Sliding windows 2. Single Hung windows

3. Casement windows 4. Awning windows

5. Picture and Radius windows 6. Bay windows

7. Bow windows Glazing

Accessories

B. Related Sections:

Specifier Note: Insert appropriate Section Numbers and Titles below for window flashing and installation sealant.

1. 08 16 13 - Fiberglass Doors. 2. 08 16 73 - Composite Sliding Doors.

be bid

1. Reference Section 01 23 00 - Alternates

1. Product Data: Submit Milgard product data.

General Notes to Specifier:

This Specification Section has been prepared to assist design professionals in the preparation of Project or Office Master Specifications. It follows guidelines established by the Construction Specifications Institute, and therefore may be used with most Master Specification systems with minor editing.

referenced section numbers and titles are correct. Numbers and titles referenced are based on MasterFormat, 2004

Notes to the specifier are contained in boxes and should be deleted from final copy.

Optional items requiring selection by the specifier are enclosed within brackets, e.g. [35] [40] [45]. Make appropriate selections and delete unused options.

Items requiring additional information are underlined blank spaces, e.g.

Optional paragraphs requiring selection of one of the options are separated by "OR" within a box, e.g.

requirements. Convert the bold face type to regular type when including these paragraphs or features.

**Ultra™ Series | C650 Windows** 

3-Part Specification

b. Upon first transfer of ownership, warranty period shall become ten years from date of

c. Warranty windows against defects in materials and workmanship including costs for

replacement parts (mainframe: lifetime; IGU and components: 20 years) and skilled labor

Specifier Note: Select pertinent "Residential" warranty below for owner occupied single family residential and multi-family residential projects; select "Commercial" warranty for non-owner

1. Lifetime Limited Warranty (including Glass Breakage) to original homeowner.

3. Submit, for Owner's acceptance, Manufacturer's Full Lifetime Warranty document.

OR

OR

2. Warranty windows against defects in materials and workmanship including costs for replacement

a. Permit unlimited transfer of ownership in first 10 years.

Document #/Rev. 3.26.21

occupied condominiums, multi-family and commercial projects.

A. Residential Special Warranty: (Owner Occupied Single Family Residential)

B. Residential Special Warranty: (Owner Occupied Multi-Family Residential)

1. 10 Year Multi-Family Limited Warranty.

F. Follow Manufacturer's instructions on label applied to units.

2. Transferability:

1.5 WARRANTY

Document #/Rev. 3.26.21

c. Exposure Category: (Specify) d. Wind Load Requirement: (Specify)

2.5 WINDOW TYPES

B. Window Series: Milgard Ultra™ Series

Ultra™ Series Windows

1. Vinyl compression bulb seal

installed to the following performance criteria:

2. Performance Class: (Specify)

3. Performance Grade: (Specify)

4. U-Factor (NFRC 100): (Specify)

indicated on Elevations/Drawings

a. Basic Wind Speed: (Specify)

b. Importance Factor: (Specify)

**Uniform Structural Load Test:** 

4. Substitutions: No substitutions permitted.

A. Fiberglass: AAMA 305 glass fiber reinforced thermoset profile.

2.2 MANUFACTURED UNITS

2.3 MATERIALS

A. Proprietary Products:

B. Weatherstripping:

appropriate sections.

2.4 SYSTEM DESCRIPTION

Glazing

3. Accessories

C. Substitutions: Reference Section 01 25 13 - Product Substitution Procedures

Specifier Note: Verify that window flashing material and installation sealant is specified in

1. Comply with ANSI/AAMA/NWWDA 101/I.S.2, except as noted herein

5. SHGC – Solar Heat Gain Coefficient (NFRC 200): (Specify)

7. STC – Sound Transmission Class (ASTM E90): (Specify)

6. OITC – Outdoor-Indoor Transmission Class (ASTM E90): (Specify)

A. General Performance Requirements: Products and systems provided must be manufactured, fabricated, and

B. Structural Requirements: Products and systems provided must be capable of withstanding wind loads based

on testing units representative of those indicated for Project that pass AAMA/NWWDA 101/I.S.2/NAFS,

1. Design Wind Loads: Determine design wind loads, according to ASCE, Section 6, applicable to

More Technical Documents can be found at milgard.com/professionals

Product from basic wind speeds (MPH) at 33 feet above grade, based upon mean roof heights

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Ultra™ Series | C650 Windows

**3-Part Specification** 

Specifier Note: Select from the following window types based on project requirements. Please note related Nail Fin and Insert window styles. Delete window types not used.

A. Horizontal Slider – 3110 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin] 1. Frame: 4-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

2. Sash: 1-9/16" minimum depth. Multi-chambered fiberglass pultrusion. 3. Sightlines: Equal for operating and fixed sash.

4. Structural Class: a. 71-1/2" X 71-1/2" and smaller: HS-LC30.

b. 143-1/2" x 71-1/2" XOX: HS-LC25.

Hardware: a. [Cam lock locking mechanism] [Positive action locking mechanism].

b. Nylon rollers with stainless steel axles, extruded aluminum monorail roller track. 6. Weatherstripping: Foam filled seal and fin seal polypropylene pile.

B. Single Hung – 3210 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin] 1. Frame: 4-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

2. Sash: 1-9/16" minimum depth. Multi-chambered fiberglass pultrusion. 3. Sightlines: Equal for operating and fixed sash.

4. Structural Class: H-C30 Hardware:

4. Hardware:

a. [Cam lock locking mechanism] [Positive action locking mechanism]. b. Sash lift handle option.

c. Concealed block and tackle balancer.

6. Weatherstripping: Foam filled seal and fin seal polypropylene pile.

C. <u>Casement</u> – 3510 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin] 1. Frame: 3-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

2. Sash: 2-3/8" minimum depth. Multi-chambered fiberglass pultrusion. 3. Structural Class: C-C45.

> a. Dual-arm steel rotary operator with fold-down handle. b. Single lever, multi-point locking system.

5. Weatherstripping: Vinyl compression bulb seal.

c. Four bar stainless steel hinge.

Manufacturer's Representative: D. Awning – 3410 Series [1-3/8" nail fin setback] [1" nail fin setback] [Z-bar retrofit fin] 1. Frame: 3-1/4" minimum depth. Multi-chambered fiberglass pultrusion.

A. Products supplied by the following manufacturer:

Part 2 - PRODUCTS

2.1 MANUFACTURER

C. Commercial Warranty:

1. 10 Year Warranty.

parts and labor.

Milgard Manufacturing, Inc.

1010 54<sup>th</sup> Avenue East

Tacoma, WA 98424 (800)-Milgard (645-4273)

milgard.com

Specifier Note: Insert name, address and phone numbers of Manufacturer's Representative below

More Technical Documents can be found at milgard.com/professionals

More Technical Documents can be found at milgard.com/professionals

5 <sup>-</sup>
Specifier Note: Include appropriate language below if products specified in this Section are to be
as alternates, otherwise delete following paragraph.

C. Alternates

1.2 SUBMITTALS

A. Reference Section 01 33 00 - Submittal Procedure; submit following items:

More Technical Documents can be found at milgard.com/professionals

Window Specification

07/24/2025

PROJECT 24030 SCALE 1" = 10'-0"

# **Cross Section Drawing**

**CAD File Scale** 

NTS

**Ultra Full Casement Window** 1 3/8 " Fin Setback

View

Horizontal & Vertical



**Units** Inch



More Technical Documents can be found at milgard.com/professionals Due to continual research and development, details may be changed at any time. ©2013 Milgard Mfg. CASEMENT SERIES 3510

File Name

3510U-02 FC

**JAMBS HEAD & SILL** 

#### Ultra™ Series | C650 Windows

#### 3-Part Specification



- 2. Vintage: 3/4" wide profiled painted wood grid applied to interior glass, 5/8" wide aluminum box spacer internal grid, and 3/4" wide trapezoidal fiberglass grid applied to exterior glass.
- 3. Craftsman: 1-1/8" wide profiled painted wood grid applied to interior glass, 1-1/16" wide sculptured aluminum bar internal grid.
- 4. Legacy: 1-1/16" wide sculptured aluminum grid internal grid, 1-1/8" wide trapezoidal fiberglass bar applied to exterior glass.

#### 2.8 INSECT SCREENS: Provide tight fitting screen (with hardware) for operating windows

- A. Screen Frame:
  - 1. Extruded aluminum (Double Hung Retrofit, Casement, Awning)
- 2. Roll formed aluminum (Single Hung, Double Hung, Horizontal Slider, Casement, Awning)
- B. Screen Mesh:
  - Fiberglass screen mesh (standard)
  - 2. PureView® High Visibility Fiberglass Mesh (option).

#### 2.9 FABRICATION

- A. Fabricate frames and sash with milled and mitered joints and mechanically joined corners.
- B. Trim and finish corners and welds to match adjacent surfaces.
- C. Factory exterior wet silicone glaze with snap-on glazing stops matching exterior sash and frame finish. Insulated glass units shall be reglazable without dismantling sash framing.
  - 1. Note: Field glazing is required for large window units (over 40 sq. ft).

- A. Frame and Sash Color: (Specify)
  - 1. Exterior: [Frost] [Harmony] [Bark] [Black Bean].
  - 2. Interior: Standard white interior. Option to match exterior.
- B. Simulated Divided Lite (SDL) Muntins:
  - 1. Interior Wood Grids: Painted to match frame and sash interior finish.
  - 2. Internal Shadow Bars: Mill finished aluminum
- 3. Exterior Fiberglass Grid: Match exterior color of window

#### C. Grids Between Glass (GBG) Muntins:

- 1. Single Color (matching exterior/interior) [Frost] [Harmony] [Bark] [Black Bean].
- 2. Two-tone Color (white interior) [Frost] [Harmony] [Bark] [Black Bean].
- D. Hardware: [Painted or Metal finishes as supplied by Milgard]
- 1. [White] [Clay] [Dark Bronze] [Black] [Brushed Chrome]

#### E. Screen Frame Color:

- 1. Exterior Mounted Screens: Matched to exterior frame color.
- 2. Interior Mounted Screens: [Frost] [Harmony] [Bark] [Black Bean].

More Technical Documents can be found at milgard.com/professionals

# Ultra™ Series | C650 Windows

# 3-Part Specification



Document #/Rev. 3.26.21

### 2.11 SOURCE QUALITY CONTROL:

A. Inspect windows in accordance with Manufacturer's Quality Control Program as required by AAMA Silver Label Certification.

# **PART 3- EXECUTION**

# 3.1 EXAMINATION

- A. Examine openings in which windows will be installed.
- 1. Verify that framing complies with AAMA 2400 (Mounting Flange Installation) & AAMA 2410 (Flush Fin Installation).
- 2. Verify that fasteners in framed walls are fully driven and will not interfere with window installation.
- B. Coordinate with responsible entity to correct unsatisfactory conditions.
- C. Commencement of work by installer is acceptance of substrate conditions.

# 3.2 INSTALLATION

Specifier Note: Installation Instructions (AAMA 2400/2410) are adequate for normal installation conditions in framed construction. Masonry walls and unusual conditions may require additional information in this article.

- A. Install windows in framed walls in accordance with AAMA 2400 ("Mounting Flange Installation") and/or
- AAMA 2410 ("Flush Fin Installation").
- B. Do not remove temporary labels. C. Install insect screens on operable windows.
  - 1. Hold Screens: [Please coordinate with local supplier.]

# 3.3 CLEANING AND FINISHING

- A. Reference Section 01 74 00 Cleaning and Waste Management.
- B. Remove temporary labels and retain for Closeout Submittals.
- C. Clean soiled painted surfaces and glass using a mild detergent and warm water solution with soft, clean cloths.

More Technical Documents can be found at milgard.com/professionals

# **END OF SECTION**

Issue Date: March 26, 2021

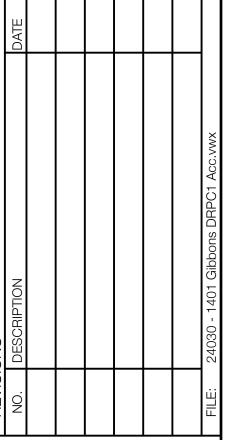
# DRAFTING CAFE ARCHITECTS

T: 510-251-2511 F: 510-735-9797 E: info@draftingcafe.com www.draftingcafe.com

Gibbons, CA 94501

**1401**Alameda,





Window Specification

07/24/2025

PROJECT

24030 1" = 10'-0"

# Keynotes

- 1. (E) Brick wall
- 2. (E) Wood fence
- 3. Edge of walkway
- 4. (E) Gas meter
- 5. (E) Electrical meter

#### \_\_\_\_

\_\_\_\_\_ (E) Wal

Wall Legend

1401 Gibbons Avent

DRAFTING CAFE ARCHITECTS

T: 510-251-2511
F: 510-735-9797
E: info@draftingcafe.com
www.draftingcafe.com



NO. DESCRIPTION

1 Design Review Plan Check Comments #1 7/24/25

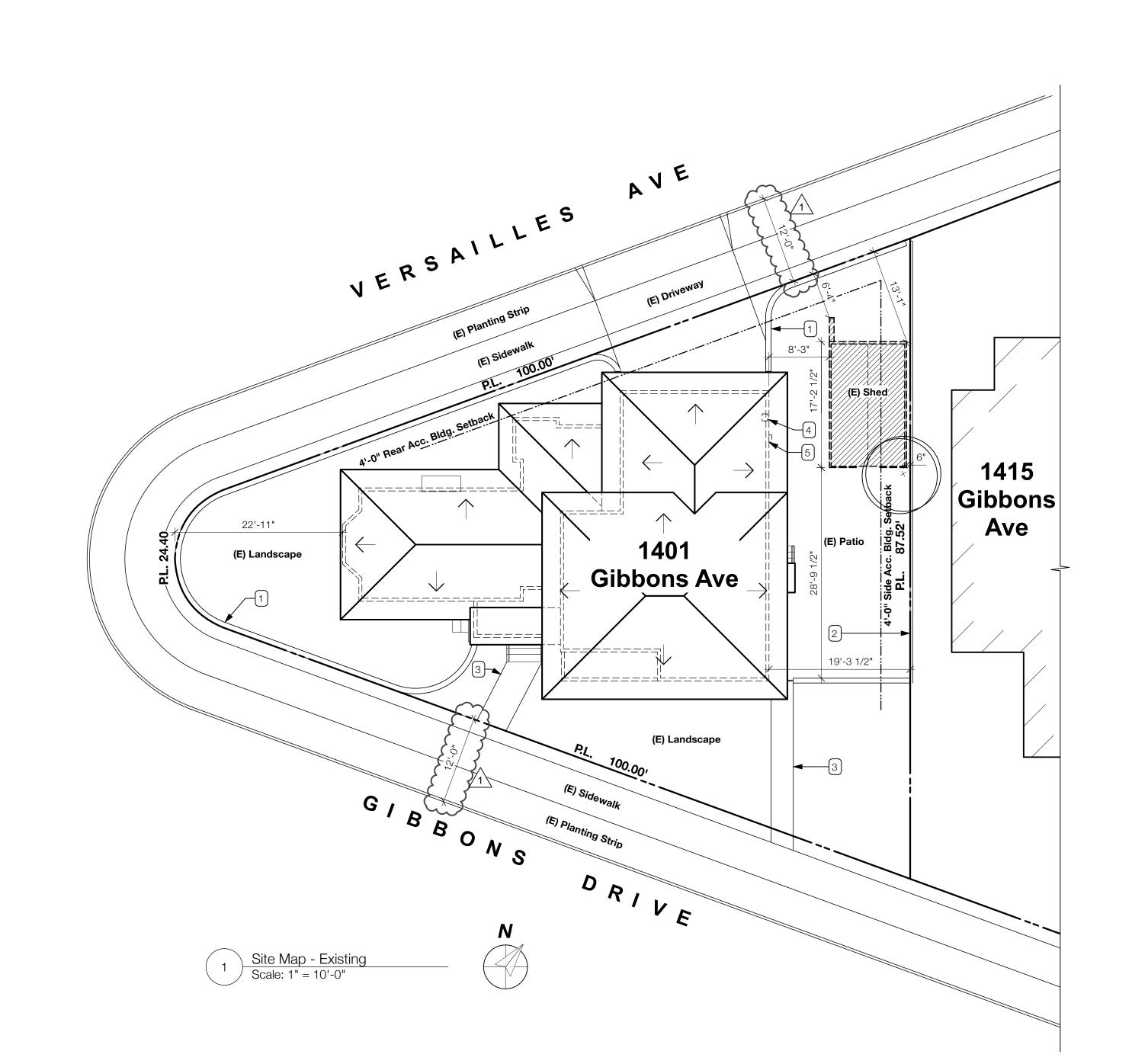
FILE: 24030 - 1401 Gibbons DRPC1 Acc.vwx

Site Plan - Existing

DATE 07/24/2025
PROJECT 2.1000

24030 SCALE 1" = 10'-0"

A1.1



# **Keynotes**

- 1. (E) Brick wall
- 2. (E) Wood fence
- 3. Edge of walkway
- 4. (E) Gas meter
- 5. (E) Electrical meter

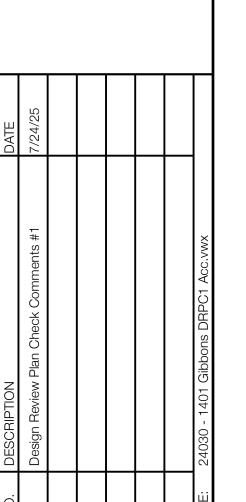
# Wall Legend

7227727272 Wall to be Demolished

Gibbons , CA 94501 **1401** Alameda,

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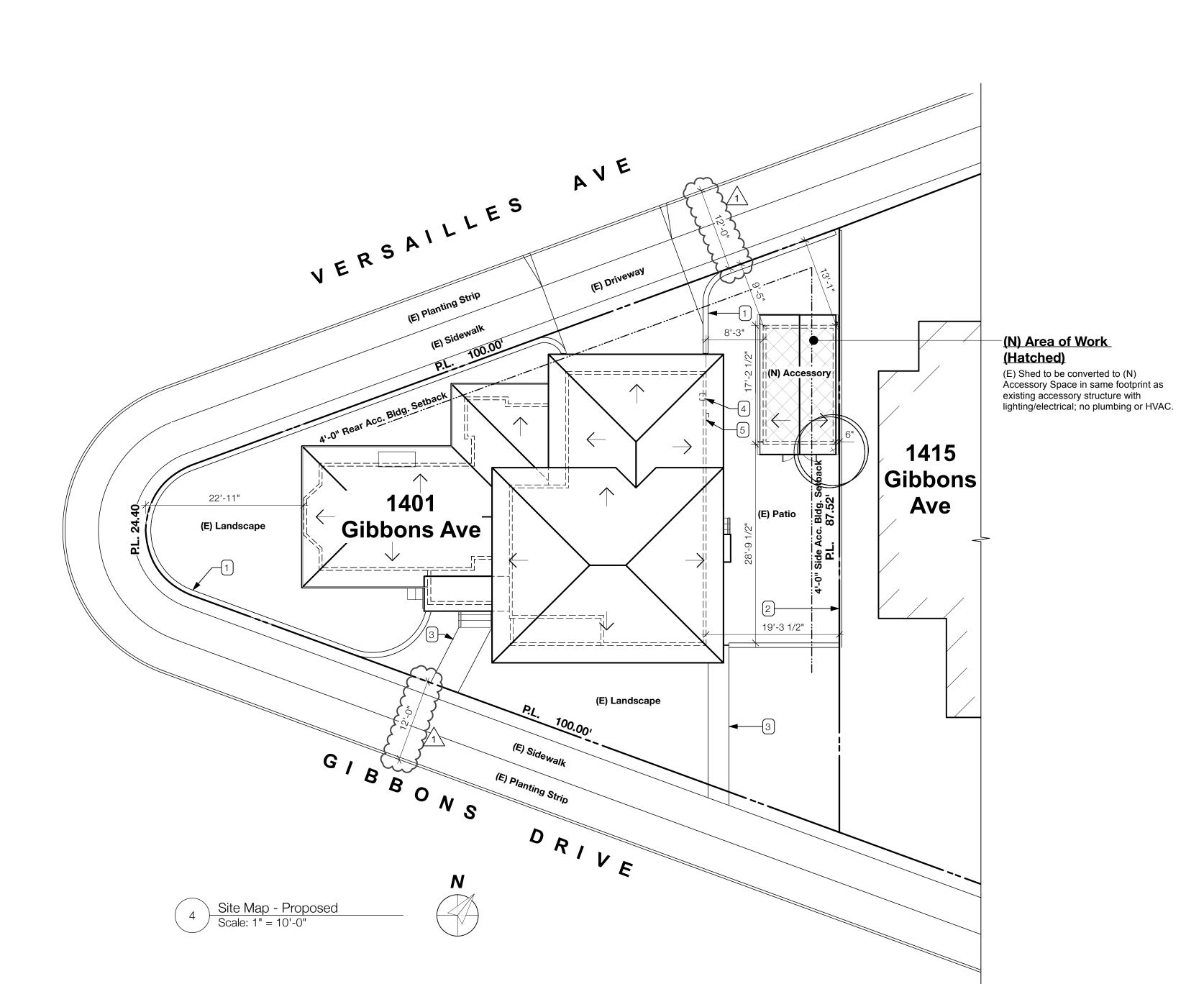
T: 510-251-2511
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E: info@draftingcafe.com
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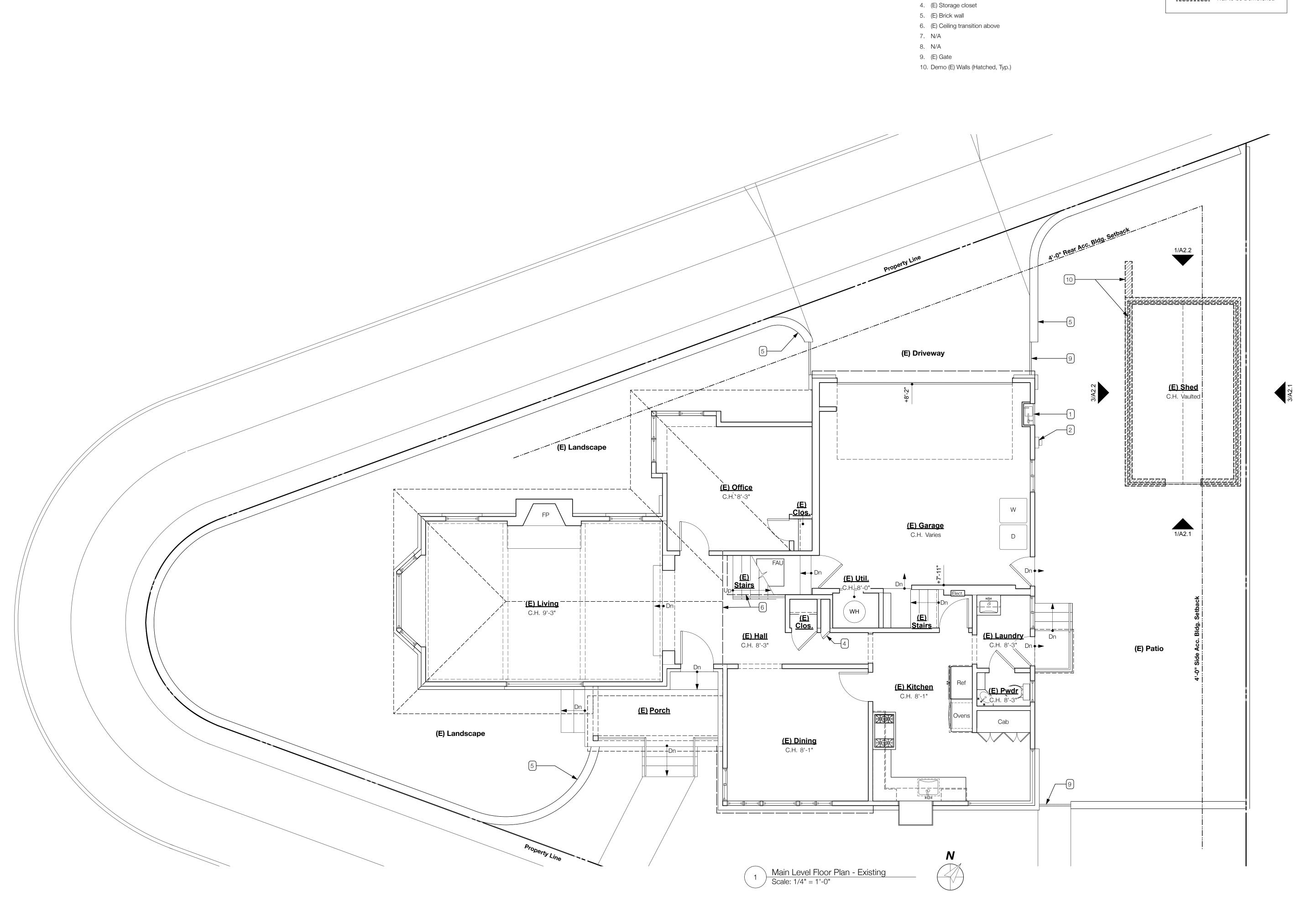


Site Plan - Proposed

07/24/2025 PROJECT

24030 SCALE 1" = 10'-0"





Wall Legend

(E) Wall

Wall to be Demolished

**Keynotes** 

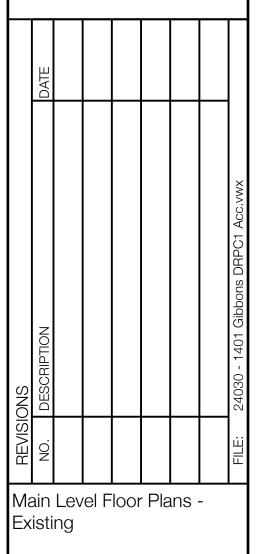
3. N/A

1. (E) Gas meter

2. (E) Electrical meter

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DATE 07/24/2025
PROJECT 24030

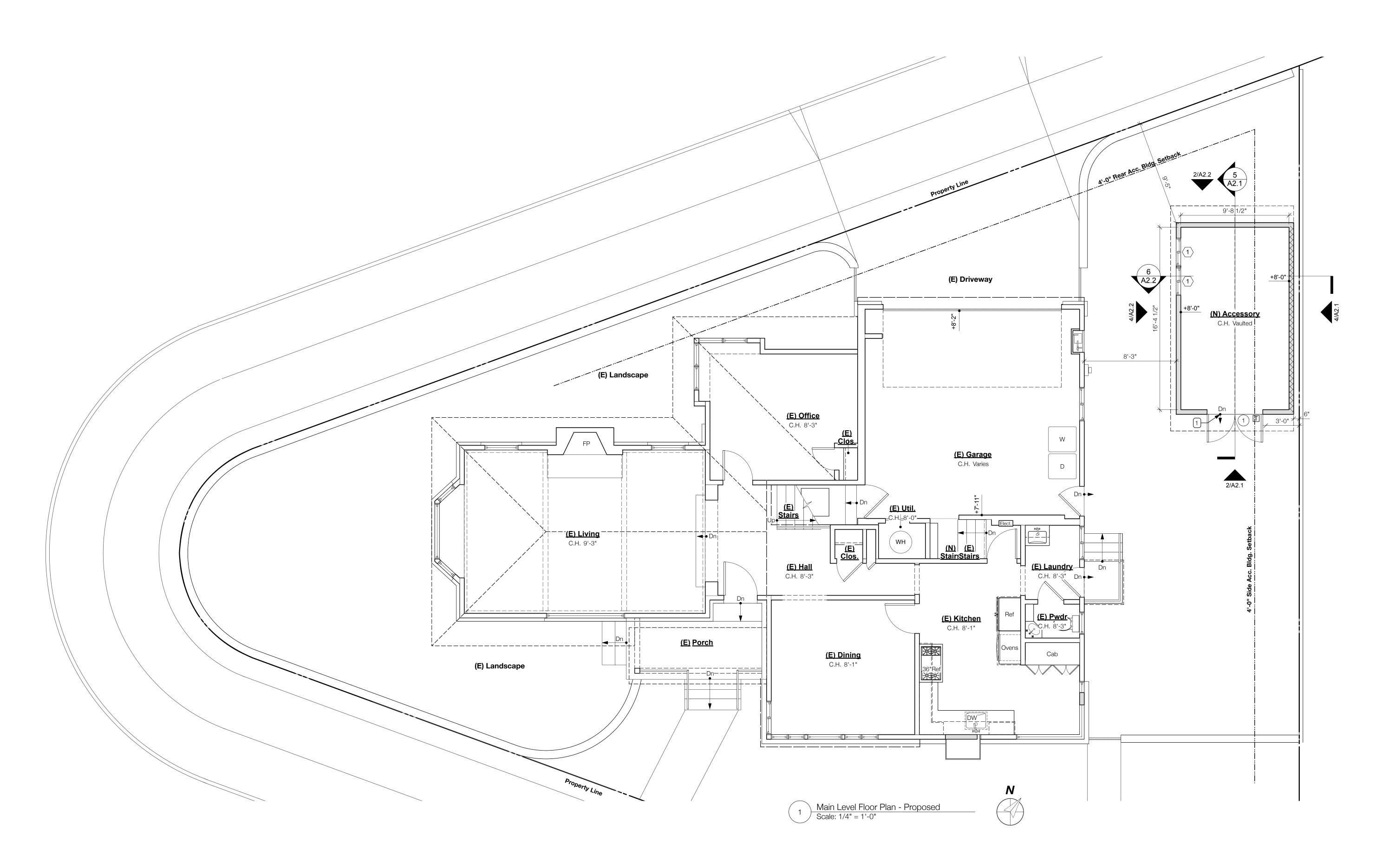
SCALE 1/4" = 1'-0"

A1.3

		l Window Sch	euule							
ID Q	Qty.	Operation	Width	Height	Head Ht.	Egress	SGHC	U-Factor	Glazing	Notes
Proposed	ed		<u> </u>	<u> </u>				-		
1	2	Horizontal Slider	2'6"	4'0"	6'8"	No				

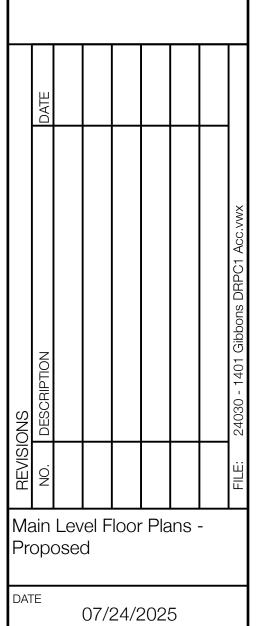
		1							
ID Label	Qty.	Width	Height	Type	Material	Finish	Leaf Type	Glazing	Notes
Proposed		<b>'</b>						,	
1	1	5'0"	6'8"	Swing Bi-part			Glass	Temp.	

Keynotes	 Wall Leg	end
1. Dn. 1.5" max.		(E) Wall
		(N) Wall
	<u> </u>	(N) 1-hr rated fire wall



1401 Gibbons Avenue





A1.4

24030

1/4" = 1'-0"

PROJECT

SCALE

# \_\_\_\_\_\_ **√**5:12 13------2/A2.1 |-----Roof Plan - Proposed Scale: 1/4" = 1'-0"

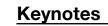
(P) Accessory
181sq ft
(lot coverage)

Main Level Floor Area Diagram - Proposed

(E) Shed

181sq ft (lot coverage)

Main Level Floor Area Diagram - Existing



1. Demo (E) Walls (Hatched, Typ.)

|-----

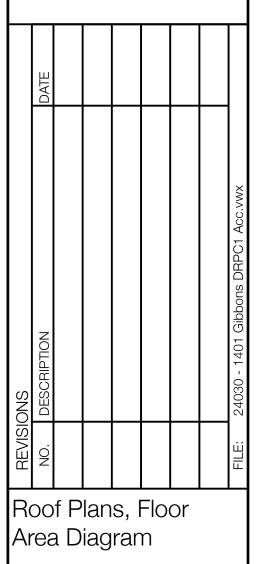
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Roof Plan - Existing
Scale: 1/4" = 1'-0"

- 2. (N) Class-A Asphalt Comp. Roof Shingles
- 3. Outline of walls above
- 4. (N) Gutter & Downspout; All Roof Gutters to have Debris Guards Installed, Typ.



1/A2.1



A1.5

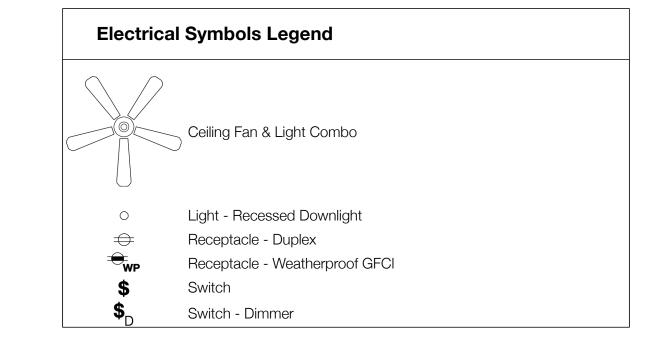
07/24/2025

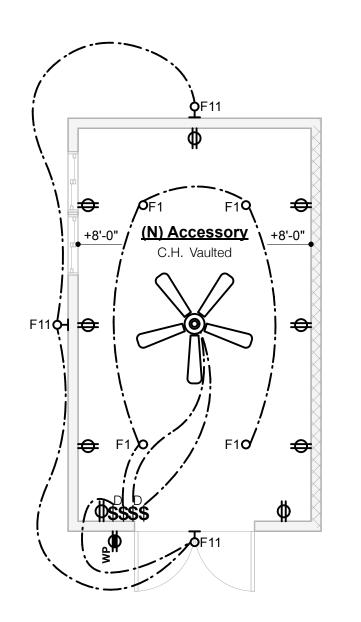
24030

1/4" = 1'-0"

# Lighting Schedule

Гуре	Description	Lamping	Wattage	Efficacy	Notes
F1	4 inch, non-adjustable recessed LED lamping in IC-rated housing.	LED 2700k	9.5W	High-Efficacy	CREE EcoSmart 'ECO4' in Halo 'H995ICAT' or similar.
F2	4 inch, adjustable recessed LED lamping in IC-rated housing.	LED 2700k	9.5W	High-Efficacy	
F3	4 inch, non-adjustable recessed LED lamping in IC-rated housing, UL listed for use in wet locations.	LED 2700k	9.5W	High-Efficacy	CREE EcoSmart 'ECO4' in Halo 'H99ICAT' or similar.
F4	Dimmable, hardwired, linkable undercabinet LED; lengths from 9 in. to 30 in.	LED 3000k	3.8W to 12W	High-Efficacy	Juno 'ULL-Series' or similar.
F5	Bathroom sconce on a dimmer	LED 3000k	Varies	High-Efficacy	
F6	Wall sconce on a dimmer.	LED 2700k	Varies	High-Efficacy	
F7	Exterior floodlight, controlled by a motion sensor and photo-control device	LED 2700k	Varies	High-Efficacy	
F8	Surface-mount ceiling fixture on a dimmer	LED A19 Base 2700k	Varies	High-Efficacy	
F9	Surface-mount ceiling fixture, manual on with a vacancy sensor	LED A19 Base 2700k	Varies	High-Efficacy	
F10	Decorative pendant.	LED A19 Base 2700k	Varies	High-Efficacy	
F11	Exterior sconce, manual on with motion sensor.	LED 3000k	Varies	High-Efficacy	







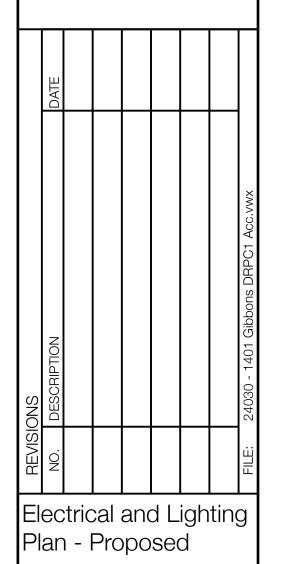


# 1401 Gibbons Avenue

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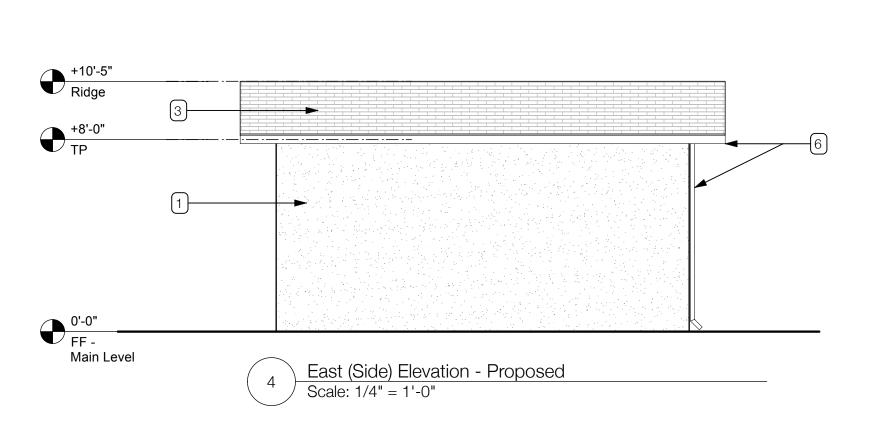
A1.6

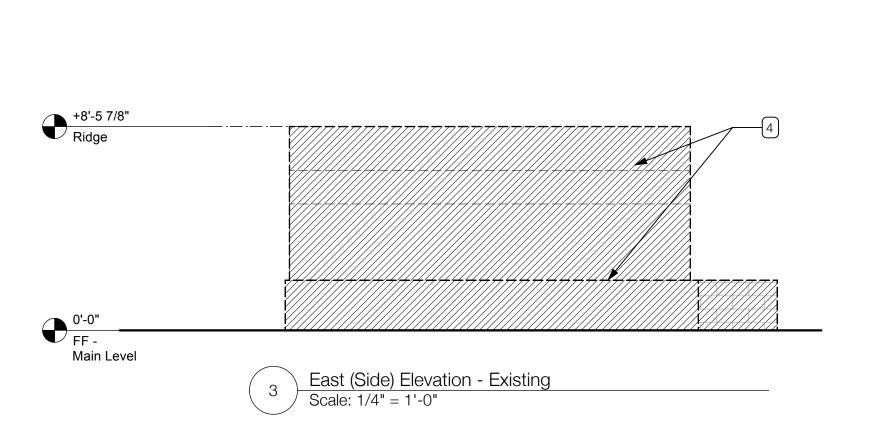
07/24/2025

24030

1/4" = 1'-0"

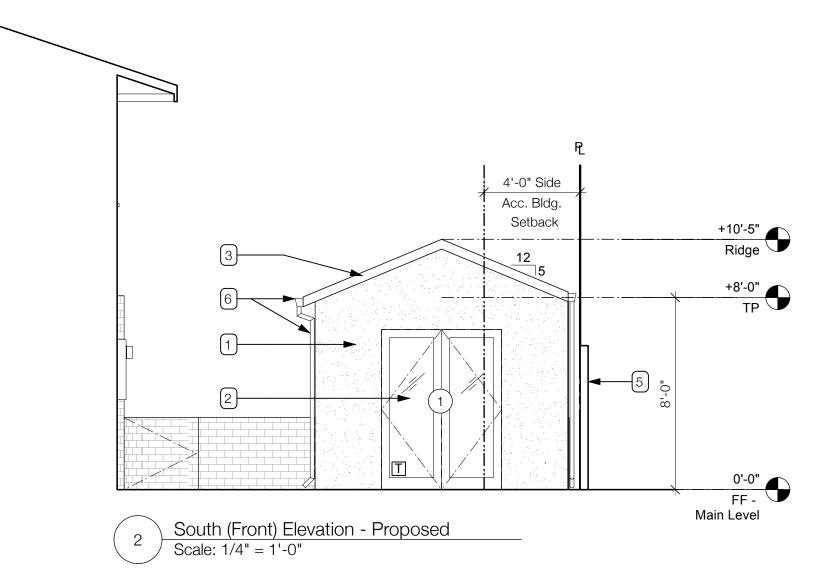
# +10'-5" Ridge +8'-0" TP (N) Accessory C.H. Vaulted 5 Building Section Scale: 1/4" = 1'-0"

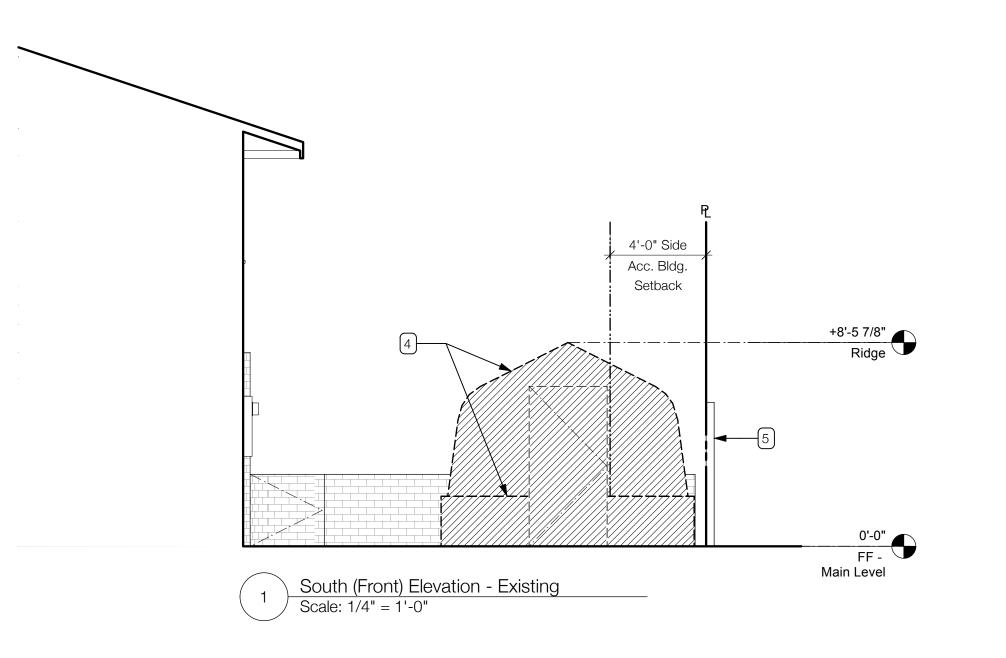




### **Keynotes**

- 1. (N) Painted ext. cement plaster finish
- 2. (N) French doors
- 3. (N) Class-A Asphalt Comp. Roof Shingles
- 4. Demo (E) Walls (Hatched, Typ.)
- 5. (E) Wood fence
- 6. (N) Gutter & Downspout; All Roof Gutters to have Debris Guards Installed, Typ.

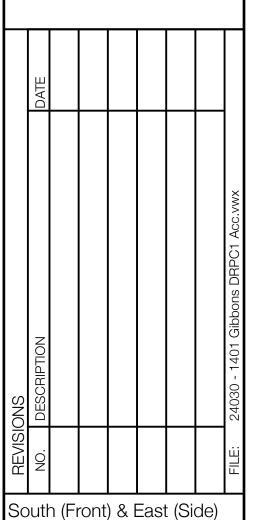




# 1401 Gibbons Avenue







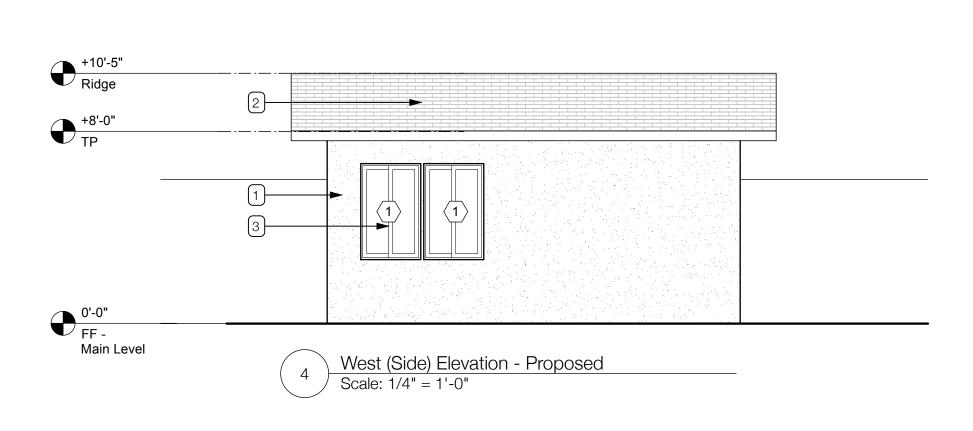
South (Front) & East (Side) Elevations, Building Section

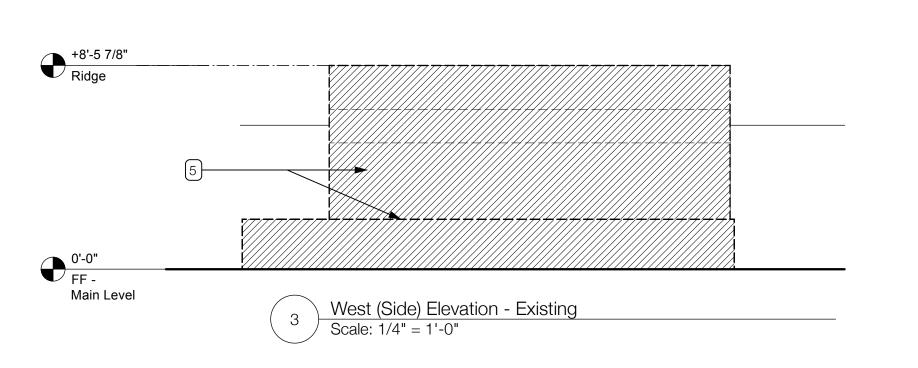
DATE 07/24/2025
PROJECT

24030 SCALE 1/4" = 1'-0"

A2.1

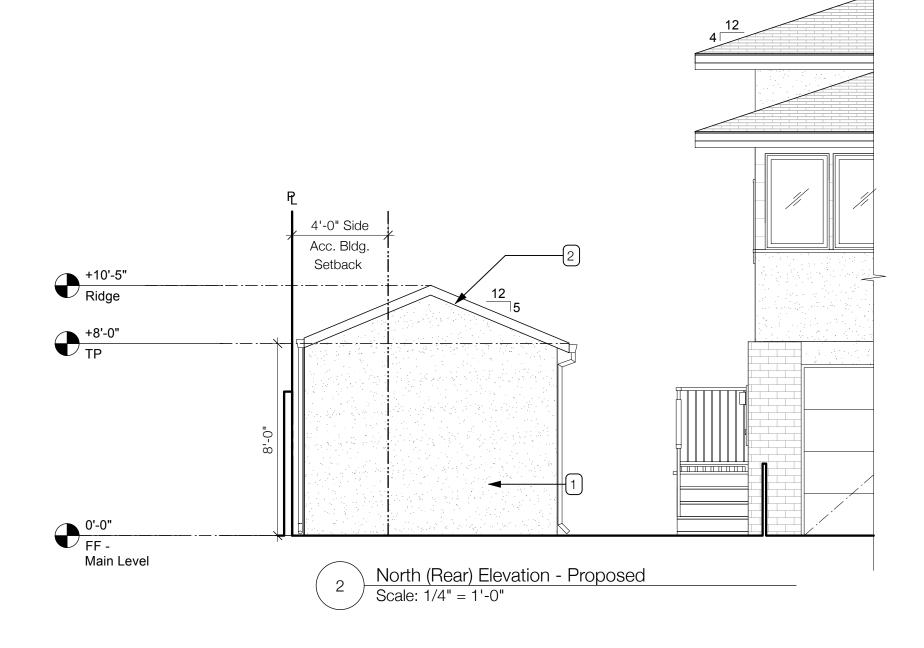
# 4'-0" Side Acc. Bldg. +10'-5" Ridge +8'-0" TP (N) Accessory C.H. Vaulted 0'-0" FF -Main Level Building Section Scale: 1/4" = 1'-0"

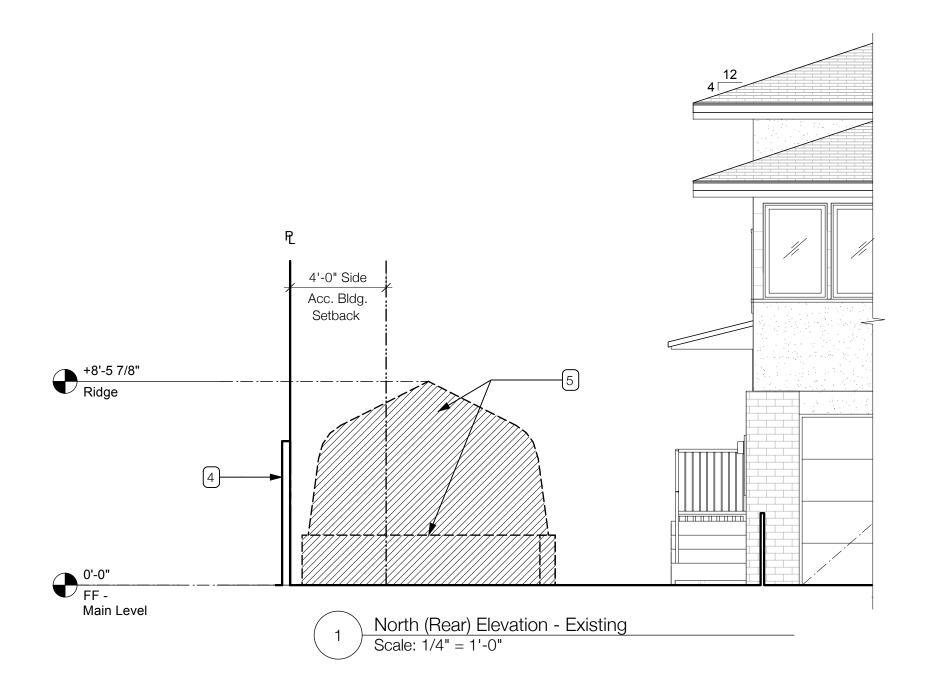




# Keynotes

- 1. (N) Painted ext. cement plaster finish
- 2. (N) Class-A Asphalt Comp. Roof Shingles
- 3. (N) Vinyl windows to match (E)
- 4. (E) Wood fence
- 5. Demo (E) Walls (Hatched, Typ.)

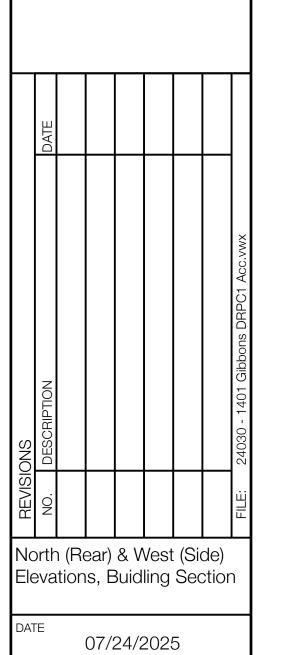












24030

1/4" = 1'-0"

PROJECT

SCALE