

General Notes

1.

All work and materials to conform to the requirements of local and state codes and the specifications of the National Board of Fire Underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located.
2.

Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any discrepancies to the Architect for correction before beginning any work.
3.

Do not scale drawings. All written dimensions govern.
4.

The Architect is not responsible for any deviations from the plans and specification information.
5.

The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.
6.

The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

Symbol Legend

Building Section Reference
(drawing #/ sheet #)

Wall Section Reference
(drawing #/ sheet #)

Interior Elevation Reference
(drawing #/ sheet #)

Elevation Reference
(drawing #/ sheet #)

Room Number

Egress

Grid Line

Detail Reference
(drawing #/ sheet #)

Datum or Elevation Point
0"

Door Symbol

Window Symbol

Key Note

Tempered

Abbreviations

AD	Area Drain	MECH	Mechanical
ADJ	sf	MIN	Minimum
AFF	Above Finish Floor	MTL	Metal
AGGR	Aggregate		
ARCH	Architectural	(N)	New
ASPH	Asphalt sf	NIC	Not In Contract
		NTS	Not To Scale
BLDG	Building		
BLK	Block	OBS	Obscure
BLKG	Blocking	OC	On Center
BO	Bottom of	OD	Outside Diameter
BW	Bottom of Wall	OPN'G	Opening
CPT	Carpet	PLAM	Plastic Laminated
CAB	Cabinet	PL	Property Line
CJ	Construction Joint	PLT	Steel Plate
CL	Center Line	PLYWD	Plywood
CLOS	Closet	PT	Point
CLG	Ceiling		
CLR	Clear	QTY	Quantity
CO	Clean Out		
COL	Column	R	Riser
COMC	Concrete	RAD	Radius
CONT	Continuous	RET	Retaining
CSMT	Casement	R/A	Return Air
CT	Ceramic tile	RD	Round
CS	Counter Sink	RD	Roof Drain
		REF	Refrigerator
DEMO	Demolition	REG	Register
DET	Detail	REINF	Reinforced
DH	Double Hung	REQ'D	Required
DF	Douglas Fir	RO	Rough Opening
DIAG	Diagonal	RWD	Redwood
DIM	Dimension	RWL	Rain Water Leader
DWGS	Drawings		
DN	Down	SAG	Supply Air Grill
DS	Downspout	SV	Sheet Vinyl
		SH	Single Hung
(E)	Existing	SHT	Sheet
EJ	Expansion Joint	SIM	Similar
EL	Elevation	SM	Sheet Metal
EQ	Equal	SQ	Square
EXT	Exterior	SSD	See Structural Drawings
		SS	Stainless Steel
FD	Floor Drain	STD	Standard
FF	Finish Floor	STL	Steel
FIN	Finish	STRUC	Structural
FOC	Face Of Concrete		
FOS	Face Of Stud	T	Tread
FOW	Face Of Wall	TC	Top Of Curb
FTG	Footing	TEMP	Tempered Glass
		TJl	Truss Joist
GA	Gauge	TO	Top Of
GALV	Galvanized	TOC	Top Of Concrete
GWB	Gypsum Wall Board	TYP	Typical
GL	Glass	TW	Top of Wall
GLU LAM	Glue Laminated	TS	Tube Steel
GSM	Galv. Sheet Metal		
		UON	Unless Otherwise Noted
H B	Hose Bibb	VERT	Vertical
HGT	Height	VIF	Verify In Field
H/M	Hollow Metal	VTO	Vent To Outside
HOR	Horizontal		
HP	High Point	W/	With
		W/C	Water Closet
ID	Inside Diameter	WD	Wood
INSUL	Insulation	W/H	Water Heater
INT	Interior	WP	Waterproof
		WPT	Work Point
JBOX	Junction Box		
JT	Joint	YD	Yard
LAM	Laminated		
LAV	Lavatory		
LP	Low Point		

Project Team

Client
Mark and Elaine Cline
1401 Gibbons Avenue
Alameda, CA 94501

Architect:
Drafting Cafe Architects
Ethan Andersen, AIA
2350 Saratoga St Unit 155
Alameda, CA 94501
T 510-251-2511

Development Information			
Zoning District	R-1		
Occupancy Code	Type U		
Construction Type	Type VB		
Areas	Existing	Proposed	Allowable
Total Lot Area sf	4,935 sf	4,935 sf	-
Total Lot Coverage Area	181 sf	181 sf	-
Setbacks			
Rear	6'-4"	9'-5"	4'-0"
Side (Right)	0'-6"	0'-6"	4'-0"
Building Height			
Max. Height	8'-5 7/8"	10'-5"	15'-0"

Dwelling is **NOT** equipped with an automatic fire sprinkler system.

Dwelling **IS NOT LOCATED** in a Very High Fire Hazard Severity Zone

Codes and Regulations

2022 California Building Code
2022 California Residential Code
2022 California Mechanical Code
2022 California Electrical Code
2022 California Plumbing Code
2022 California Green Building Code
2022 California Energy Code
2022 California Fire Code
Local codes, amendments and ordinances

Project Description

Existing shed to be converted to an accessory structure (hang-out space) in same footprint as existing accessory structure with lighting/electrical; no plumbing or HVAC.

Property Information

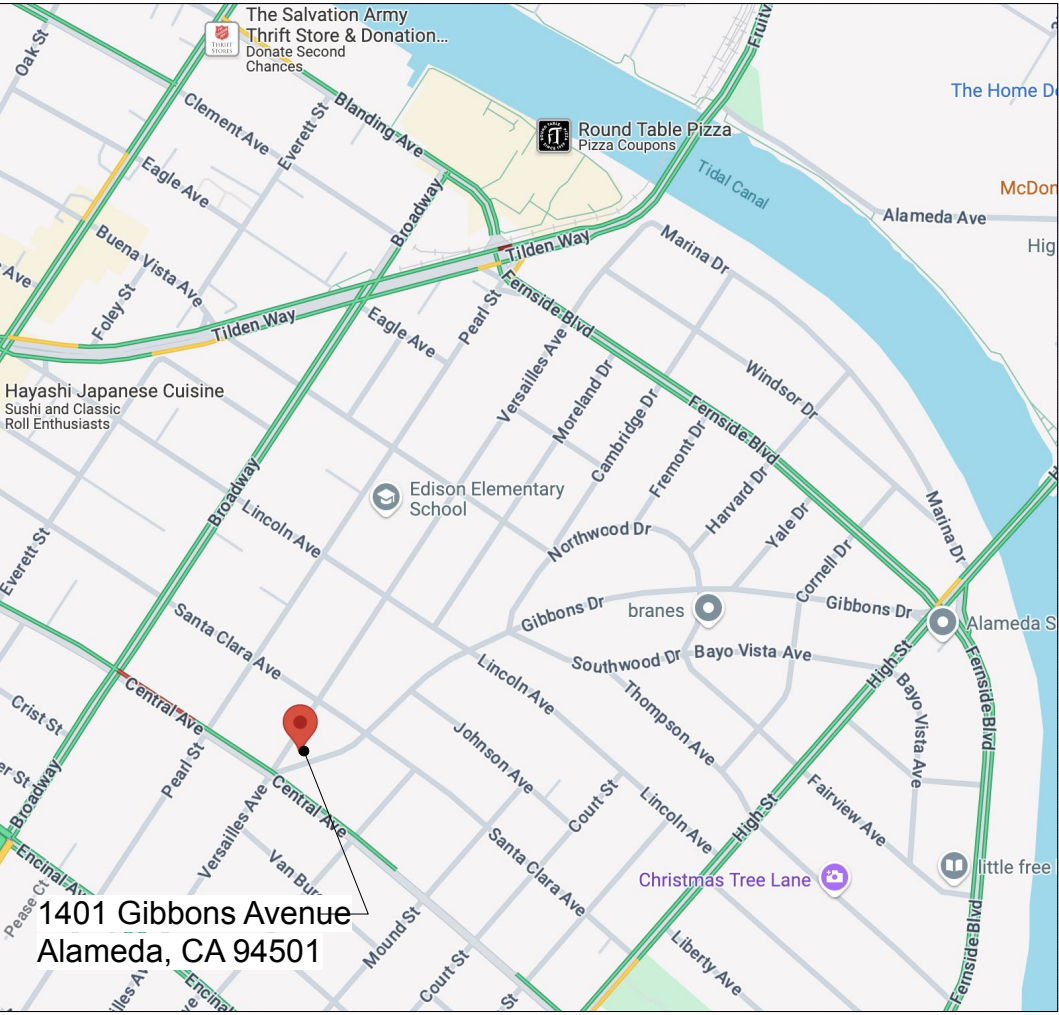
APN: 69-110-21

Address: 1401 Gibbons Avenue
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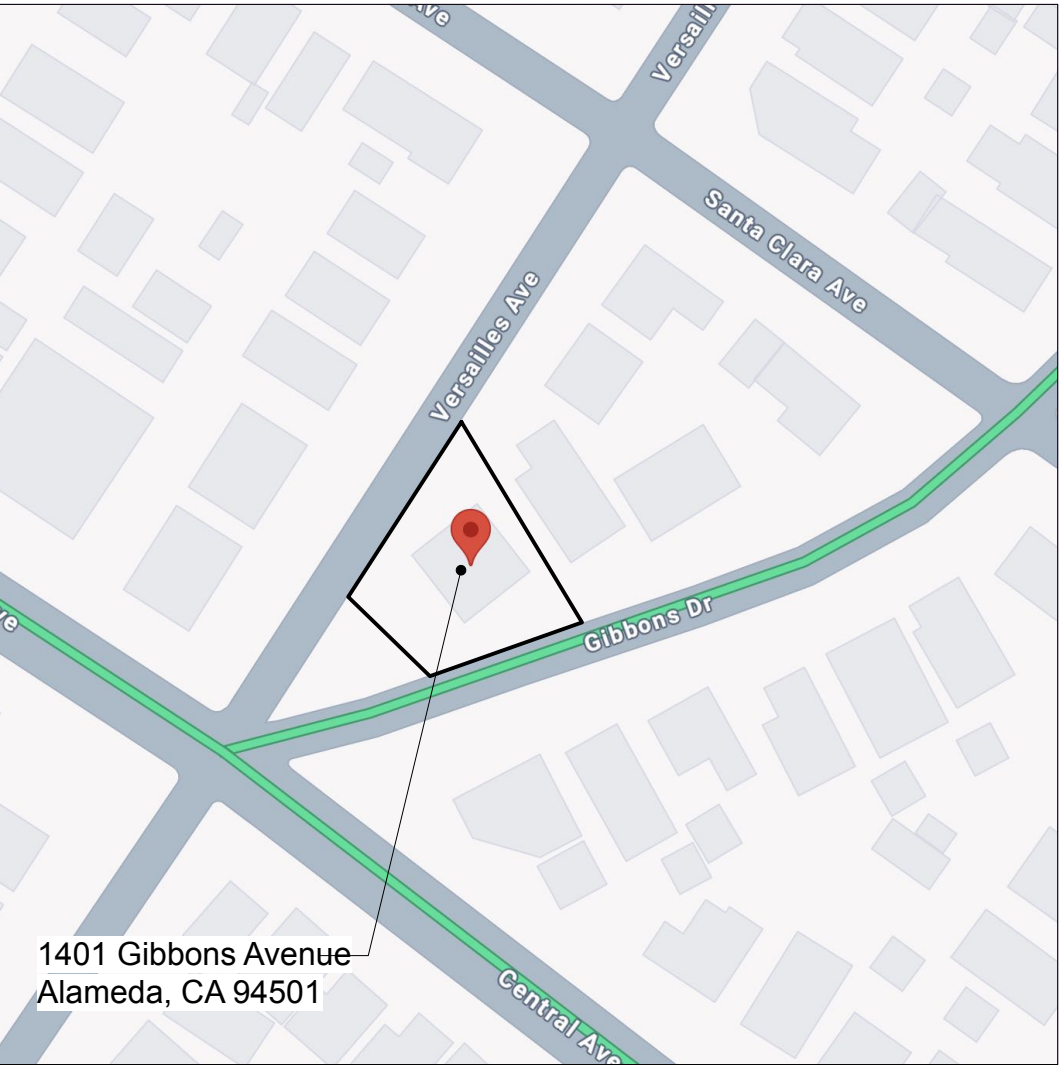
Drawing List

Architectural
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A0.2 Window Specification
A0.3 Window Specification
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A1.2 Site Plan - Proposed
A1.3 Main Level Floor Plans - Existing
A1.4 Main Level Floor Plans - Proposed
A1.5 Roof Plans, Floor Area Diagram
A1.6 Electrical and Lighting Plan - Proposed
A2.1 South (Front) & East (Side) Elevations, Building Section
A2.2 North (Rear) & West (Side) Elevations, Building Section

Vicinity Map



Location Map



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F: 510-735-9797
E: info@draftingcafe.com
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REVISIONS	NO.	DESCRIPTION	DATE						

Cover Sheet

DATE 07/24/2025
PROJECT 24030
SCALE 1" = 10'-0"

A0.1

More Technical Documents can be found at milgard.com/professionals
Due to continual research and development, details may be changed at any time. ©2013 Milgard Mfg.

Technical drawing of the window frame cross-section, showing dimensions and components. The drawing includes a side view of the frame assembly and a detailed view of the handle mechanism.

Dimensions:

- Top width: $3\frac{1}{4}"$
- Top left width: $1\frac{3}{8}"$
- Top right width: $1\frac{7}{8}"$
- Left height: $3\frac{3}{8}"$
- Left height (lower section): $2\frac{7}{8}"$
- Right height: $1\frac{3}{4}"$
- Bottom left height: $2\frac{3}{8}"$
- Bottom left height (lower section): $1\frac{5}{8}"$
- Bottom right width: $1\frac{3}{8}"$
- Bottom right height: $3\frac{1}{4}"$

Labels:

- DAYLIGHT OPENING
- FRAME HEIGHT

Technical drawing of a window frame and daylight opening. The drawing shows a cross-section of a window frame with dimensions in inches. Key dimensions include: total frame width 14 1/2 inches, frame width 1 3/4 inches, frame depth 1 inch, frame height 3/8 inch, frame depth 1 7/8 inches, frame depth 1 3/8 inches, frame depth 3/8 inch, frame depth 2 3/8 inches, frame depth 2 3/8 inches, frame depth 1 3/8 inches, and frame depth 3/8 inch. The drawing is labeled "FRAME WIDTH" and "DAYLIGHT OPENING".

2. Vintage: 3/4" wide profiled painted wood grid applied to interior glass, 5/8" wide aluminum box spacer internal grid, and 3/4" wide trapezoidal fiberglass grid applied to exterior glass.
3. Craftsman: 1-1/8" wide profiled painted wood grid applied to interior glass, 1-1/16" wide sculptured aluminum bar internal grid.
4. Legacy: 1-1/16" wide sculptured aluminum grid internal grid, 1-1/8" wide trapezoidal fiberglass bar applied to exterior glass.

A. Screen Frame:

1. Extruded aluminum (Double Hung Retrofit, Casement, Awning)
2. Roll formed aluminum (Single Hung, Double Hung, Horizontal Slider, Casement, Awning)

B. Screen Mesh:

1. Fiberglass screen mesh (standard)
2. PureView® High Visibility Fiberglass Mesh (option).

- A. Fabricate frames and sash with milled and mitered joints and mechanically joined corners.
- B. Trim and finish corners and welds to match adjacent surfaces.
- C. Factory exterior wet silicone glaze with snap-on glazing stops matching exterior sash and frame finish.

Insulated glass units shall be reglazable without dismantling sash framing.

1. Note: Field glazing is required for large window units (over 40 sq. ft).

- A. Frame and Sash Color: (Specify)
 - 1. Exterior: [Frost] [Harmony] [Bark] [Black Bean].
 - 2. Interior: Standard white interior. Option to match exterior.
- B. Simulated Divided Lite (SDL) Muntins:
 - 1. Interior Wood Grains: Painted to match frame and sash interior finish.
 - 2. Internal Shadow Bars: Mill finished aluminum
 - 3. Exterior Fiberglass Grid: Match exterior color of window
- C. Grids Between Glass (GBG) Muntins:
 - 1. Single Color (matching exterior/interior) – [Frost] [Harmony] [Bark] [Black Bean].
 - 2. Two-tone Color (white interior) - [Frost] [Harmony] [Bark] [Black Bean].
- D. Hardware: [Painted or Metal finishes as supplied by Milgard]
 - 1. [White] [Clay] [Dark Bronze] [Black] [Brushed Chrome]
- E. Screen Frame Color:
 - 1. Exterior Mounted Screens: Matched to exterior frame color.
 - 2. Interior Mounted Screens: [Frost] [Harmony] [Bark] [Black Bean].

More Technical Documents can be found at milgard.com/professionals

2.11 SOURCE QUALITY CONTROL:

A. Inspect windows in accordance with Manufacturer's Quality Control Program as required by AAMA Silver Label Certification.

- A. Examine openings in which windows will be installed.
 1. Verify that framing complies with AAMA 2400 (Mounting Flange Installation) & AAMA 2410 (Flush Fin Installation).
 2. Verify that fasteners in framed walls are fully driven and will not interfere with window installation.
- B. Coordinate with responsible entity to correct unsatisfactory conditions.
- C. Commencement of work by installer is acceptance of substrate conditions.

Specifier Note: Installation Instructions (AAMA 2400/2410) are adequate for normal installation conditions in framed construction. Masonry walls and unusual conditions may require additional information in this article.

- A. Reference Section 01 74 00 – Cleaning and Waste Management.
- B. Remove temporary labels and retain for Closeout Submittals.
- C. Clean soiled painted surfaces and glass using a mild detergent and warm water solution with soft, clean cloths.

Issue Date: March 26, 2021

More Technical Documents can be found at milgard.com/professionals

NOT FOR CONSTRUCTION

[illegible]

A0.3

1. (E) Brick wall
2. (E) Wood fence
3. Edge of walkway
4. (E) Gas meter
5. (E) Electrical meter

==== (E) Wall
 // Wall to be Demolished

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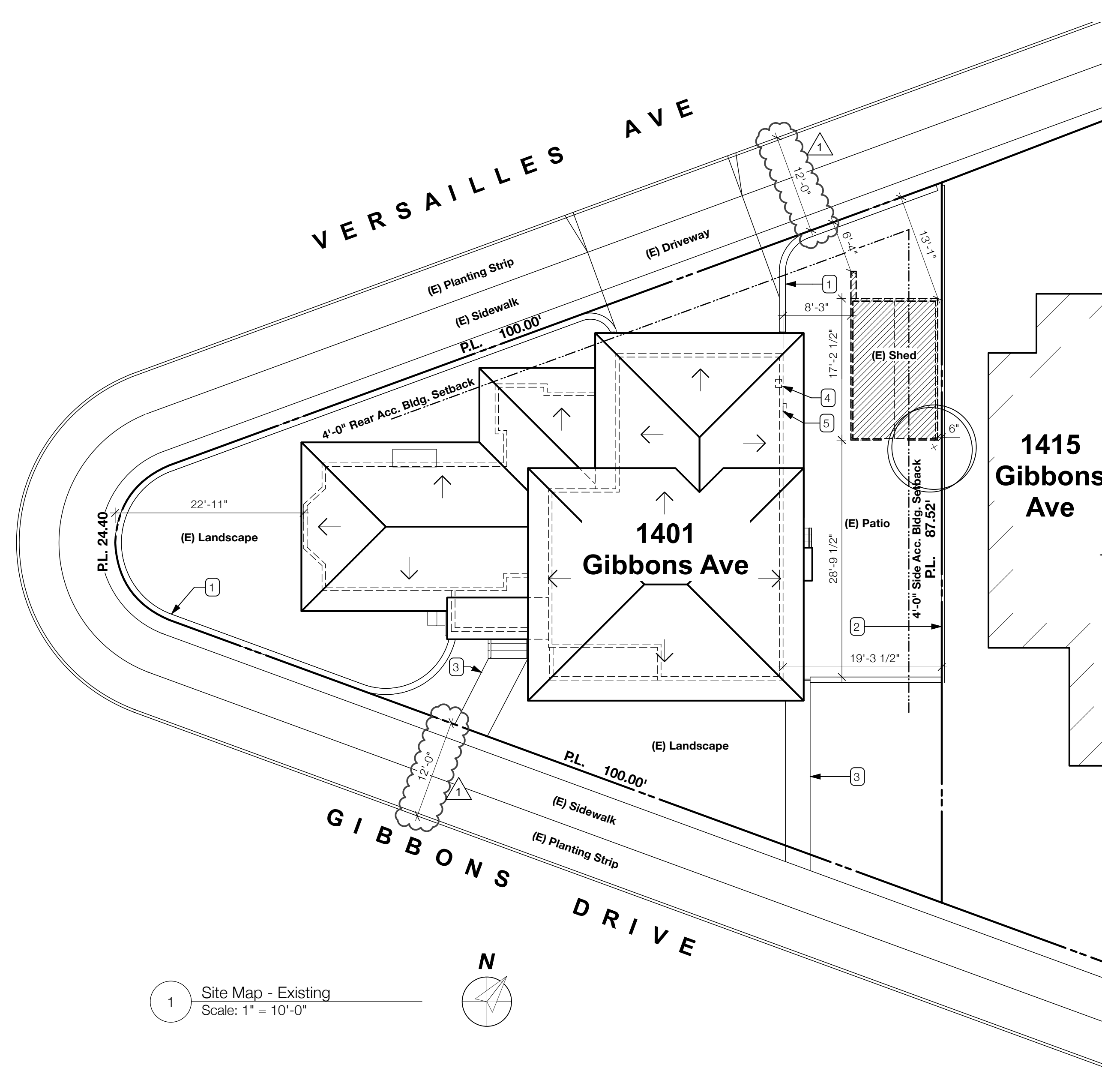
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NO.	DESCRIPTION	DATE
1	Design Review Plan Check Comments #1	7/24/25
FILE: 24030 - 1401 Gibbons DRP01 Accuwx		

1" = 10'-0"

A1.1



1. (E) Brick wall
2. (E) Wood fence
3. Edge of walkway
4. (E) Gas meter
5. (E) Electrical meter

==== (E) Wall
 // Wall to be Demolished

NOTICE OF CONSPIRACY

LICENSED ARCHITECT
ETHAN C ANDERSEN
C-24235
July 30, 2027
RENEWAL
DATE
STATE OF CALIFORNIA

NOTICE OF CONSPIRACY

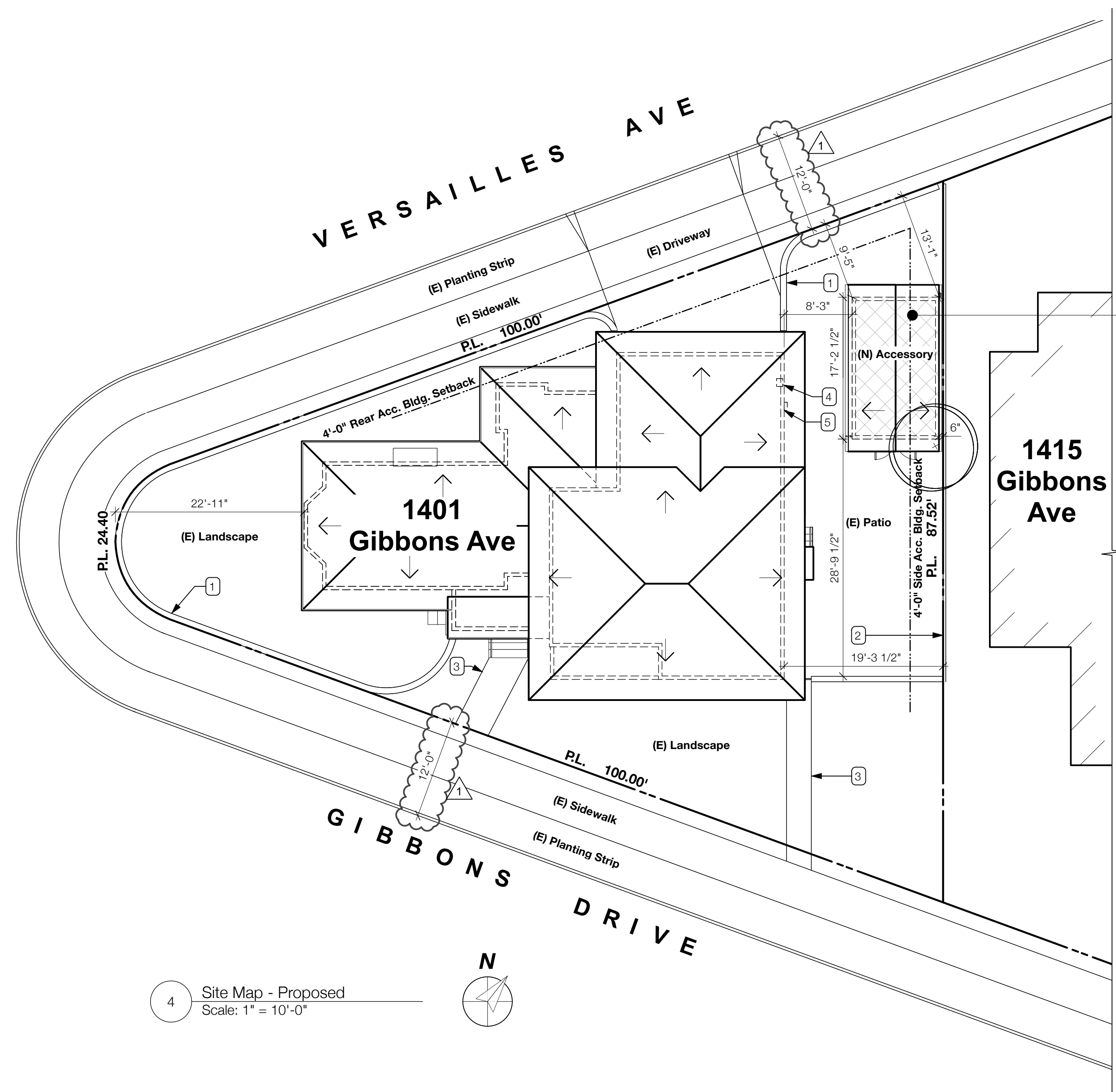
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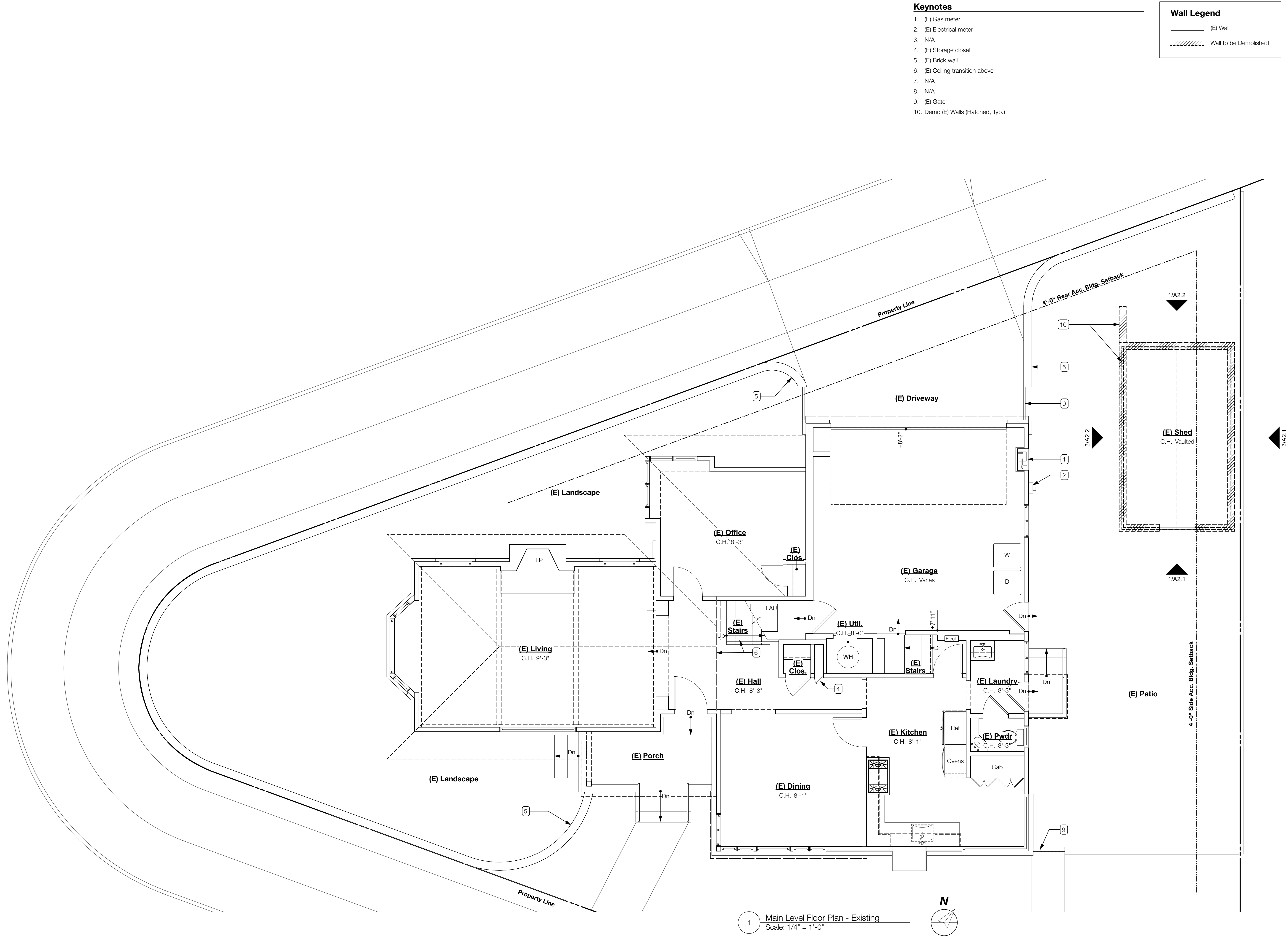
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SCALE	1" = 10'-0"
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A1.2



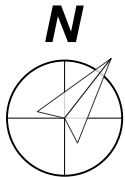
4 Site Map - Proposed
Scale: 1" = 10'-0"



- Keynotes**
- 1. (E) Gas meter
 - 2. (E) Electrical meter
 - 3. N/A
 - 4. (E) Storage closet
 - 5. (E) Brick wall
 - 6. (E) Ceiling transition above
 - 7. N/A
 - 8. N/A
 - 9. (E) Gate
 - 10. Demo (E) Walls (Hatched, Typ.)

- Wall Legend**
- (E) Wall
 - Wall to be Demolished

1 Main Level Floor Plan - Existing
Scale: 1/4" = 1'-0"



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Main Level Floor Plans -
Existing

DATE 07/24/2025

PROJECT 24030

SCALE 1/4" = 1'-0"

A1.3

Proposed Window Schedule										
ID	Qty.	Operation	Width	Height	Head Ht.	Egress	SGHC	U-Factor	Glazing	Notes
Proposed										
1	2	Horizontal Slider	2'6"	4'0"	6'8"	No				
NOTE: Contractor to verify dimensions of all new windows will fit rough openings prior to placing window order										

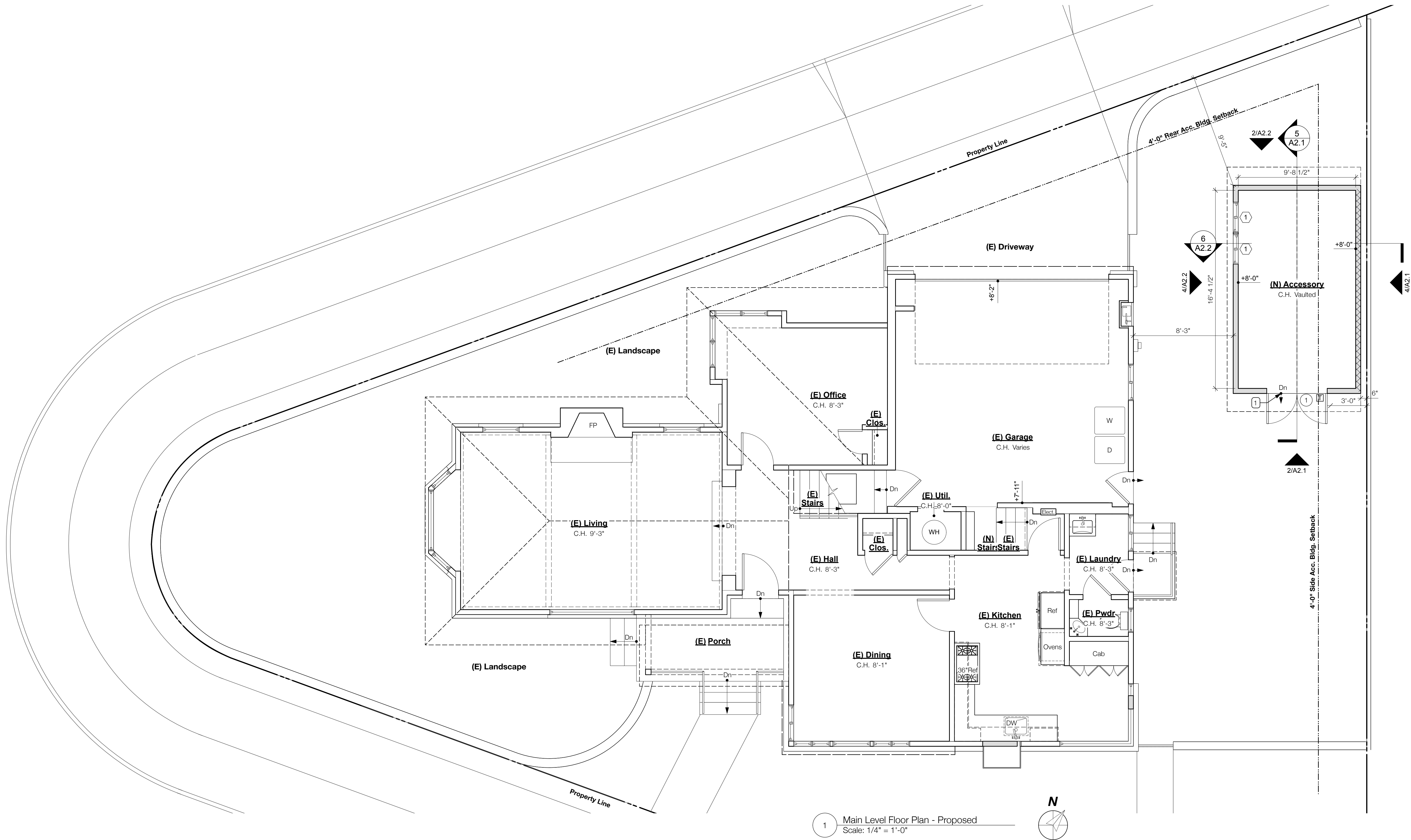
Proposed Door Schedule										
ID Label	Qty.	Width	Height	Type	Material	Finish	Leaf Type	Glazing	Notes	
Proposed										
1	1	5'0"	6'8"	Swing Bi-part			Glass	Temp.		
NOTE: Contractor to verify dimension of all new doors will fit rough openings prior to placing door order.										

Keynotes

1. Dn. 1.5' max.

Wall Legend

- (E) Wall
- (N) Wall
- (N) 1-hr rated fire wall



1 Main Level Floor Plan - Proposed
Scale: 1/4" = 1'-0"

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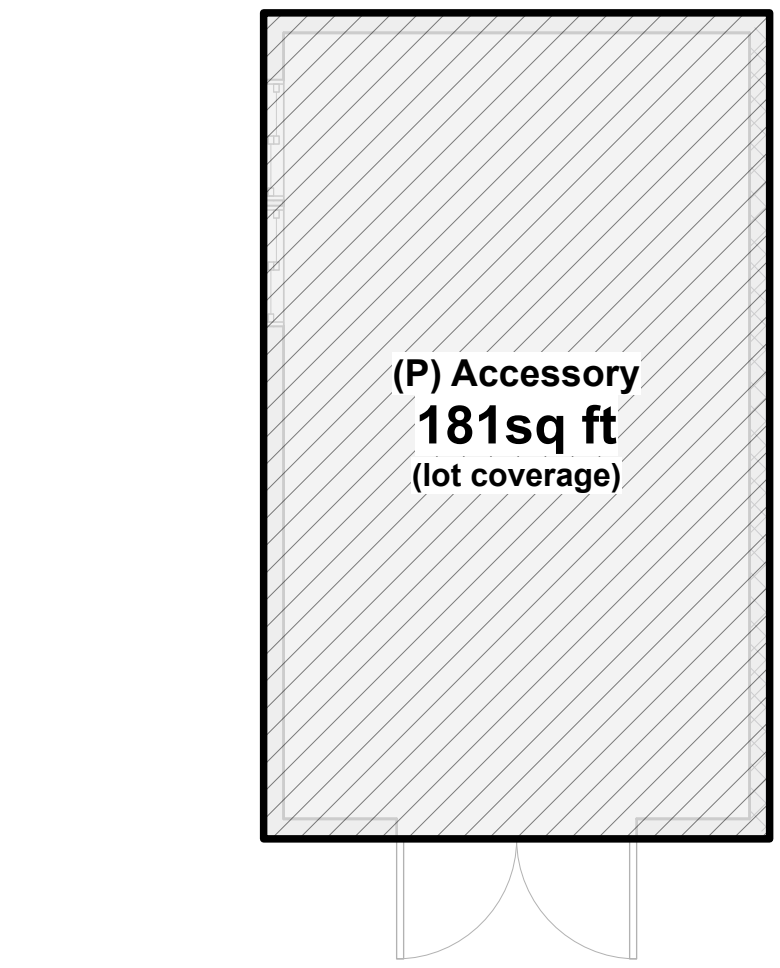
Main Level Floor Plans -
Proposed

DATE 07/24/2025

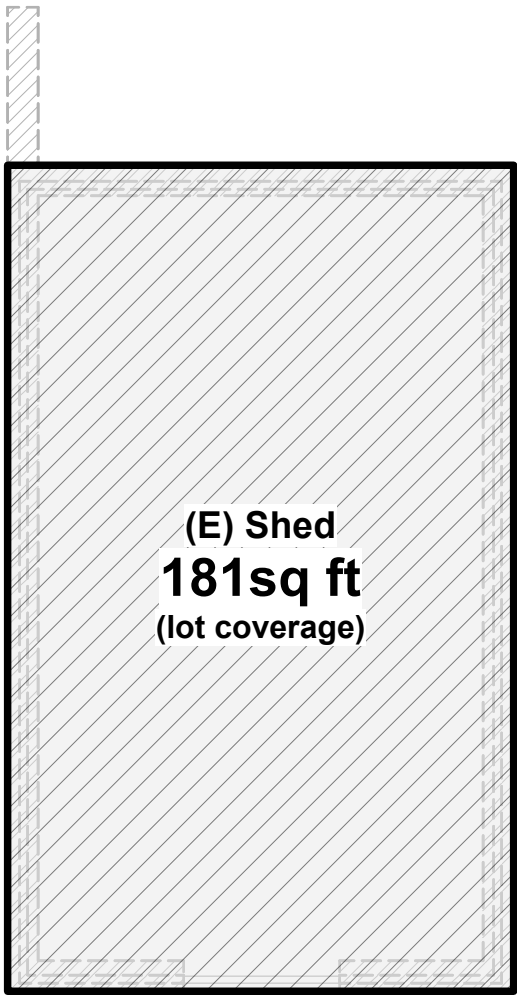
PROJECT 24030

SCALE 1/4" = 1'-0"

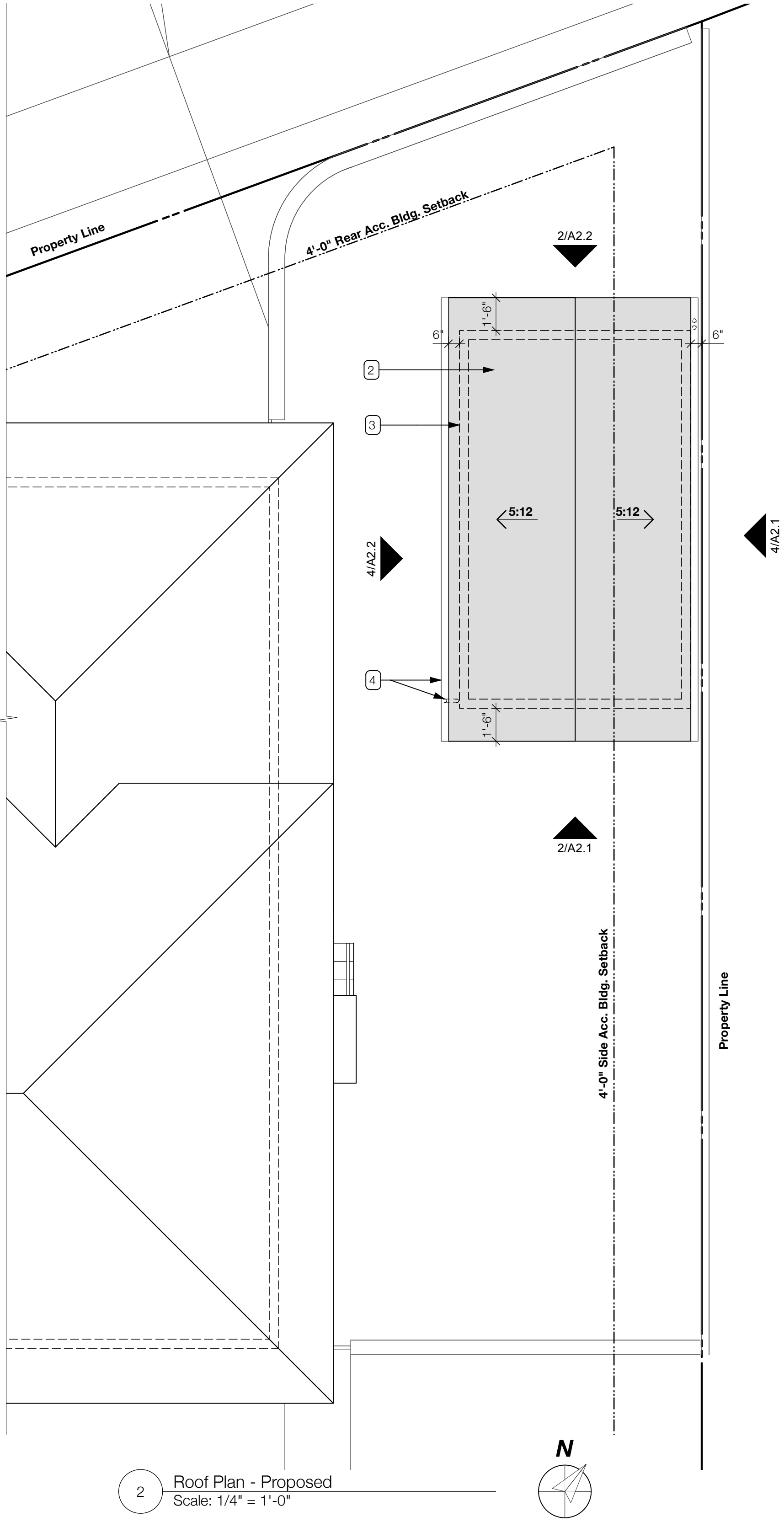
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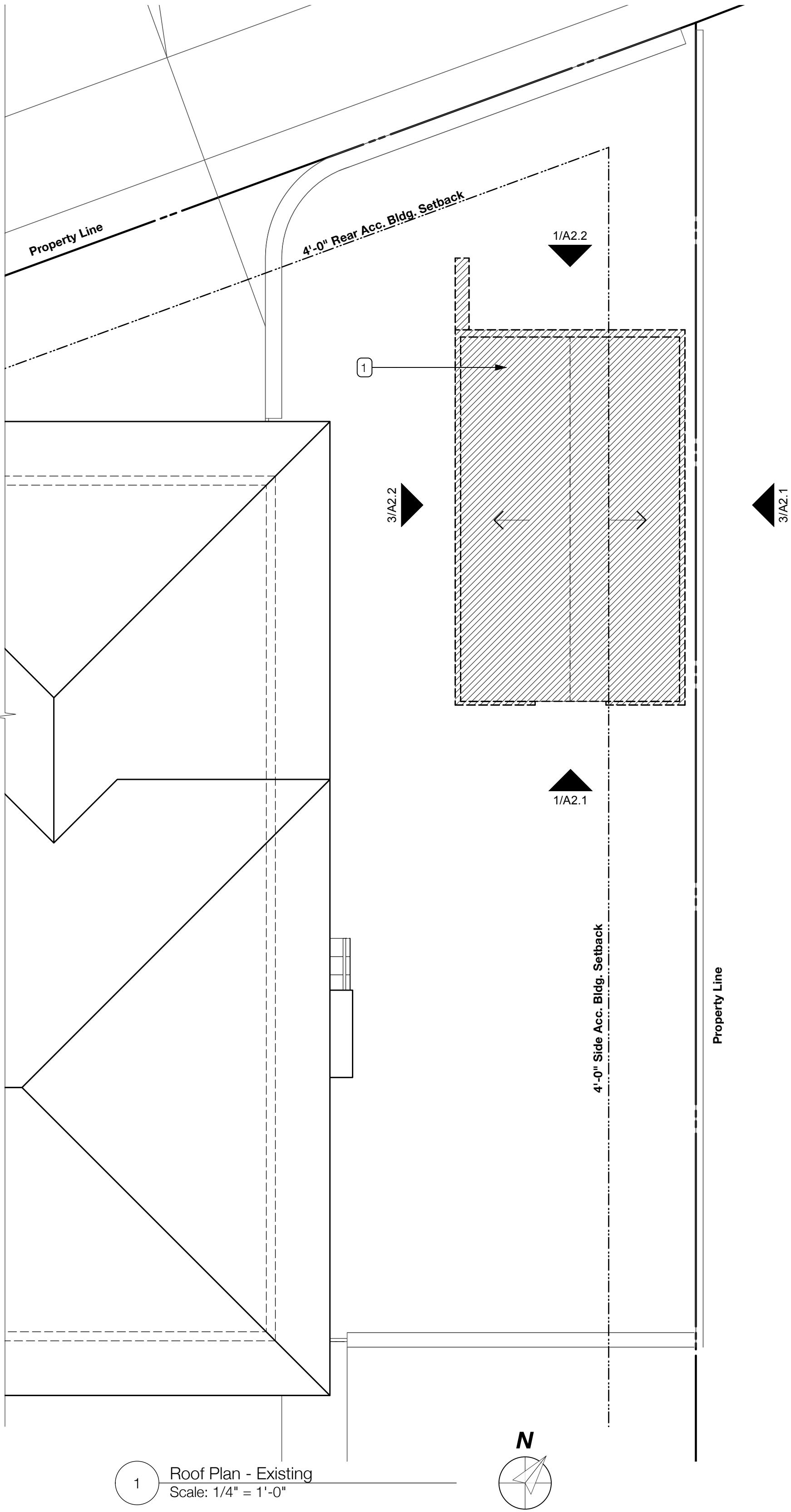
4 Main Level Floor Area Diagram - Proposed



3 Main Level Floor Area Diagram - Existing



2 Roof Plan - Proposed
Scale: 1/4" = 1'-0"



1 Roof Plan - Existing
Scale: 1/4" = 1'-0"

- Keynotes**
1. Demo (E) Walls (Hatched, Typ.)
 2. (N) Class-A Asphalt Comp. Roof Shingles
 3. Outline of walls above
 4. (N) Gutter & Downspout; All Roof Gutters to have Debris Guards Installed, Typ.

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Roof Plans, Floor
Area Diagram

DATE 07/24/2025

PROJECT 24030

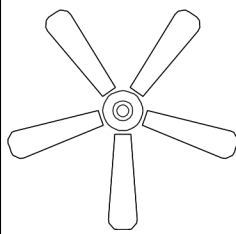
SCALE 1/4" = 1'-0"

A1.5


Lighting Schedule

Contractor to install fixtures and lamping matching these specifications. All lighting to be UL listed; all high-efficacy fixtures to be Energy Star certified.					
Type	Description	Lamping	Wattage	Efficacy	Notes
F1	4 inch, non-adjustable recessed LED lamping in IC-rated housing.	LED 2700k	9.5W	High-Efficacy	CREE EcoSmart 'ECO4' in Halo 'H995ICAT' or similar.
F2	4 inch, adjustable recessed LED lamping in IC-rated housing.	LED 2700k	9.5W	High-Efficacy	
F3	4 inch, non-adjustable recessed LED lamping in IC-rated housing. UL listed for use in wet locations.	LED 2700k	9.5W	High-Efficacy	CREE EcoSmart 'ECO4' in Halo 'H99ICAT' or similar.
F4	Dimmable, hardwired, linkable undercabinet LED; lengths from 9 in. to 30 in.	LED 3000k	3.8W to 12W	High-Efficacy	Juno 'ULL-Series' or similar.
F5	Bathroom sconce on a dimmer	LED 3000k	Varies	High-Efficacy	
F6	Wall sconce on a dimmer.	LED 2700k	Varies	High-Efficacy	
F7	Exterior floodlight, controlled by a motion sensor and photo-control device	LED 2700k	Varies	High-Efficacy	
F8	Surface-mount ceiling fixture on a dimmer	LED A19 Base 2700k	Varies	High-Efficacy	
F9	Surface-mount ceiling fixture, manual on with a vacancy sensor	LED A19 Base 2700k	Varies	High-Efficacy	
F10	Decorative pendant.	LED A19 Base 2700k	Varies	High-Efficacy	
F11	Exterior sconce, manual on with motion sensor.	LED 3000k	Varies	High-Efficacy	


Electrical Symbols Legend




Ceiling Fan & Light Combo




Light - Recessed Downlight




Receptacle - Duplex



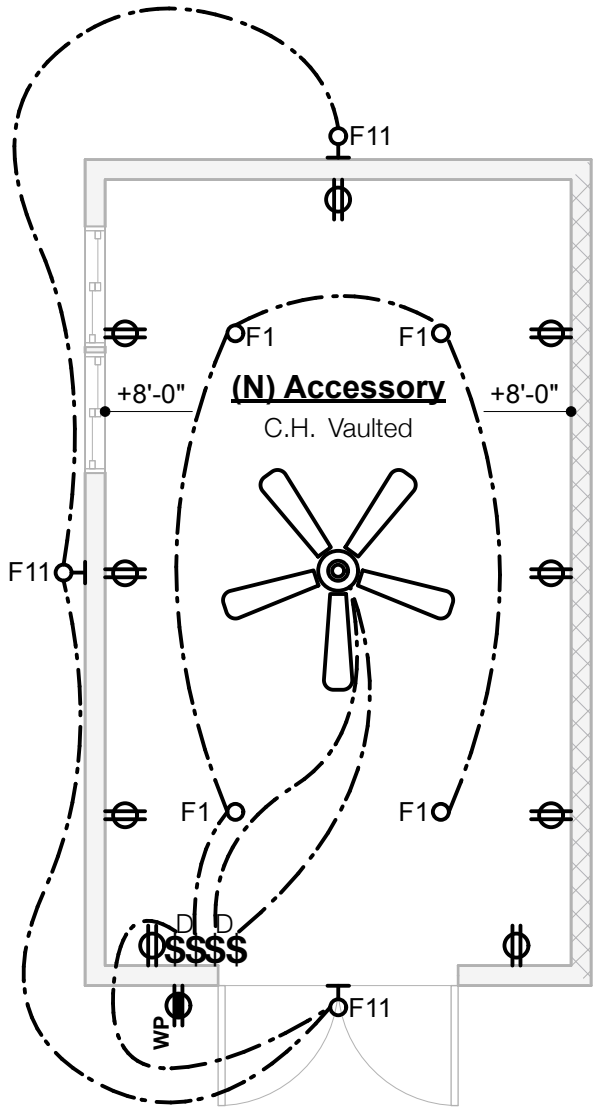
Receptacle - Weatherproof GFCI



Switch



Switch - Dimmer



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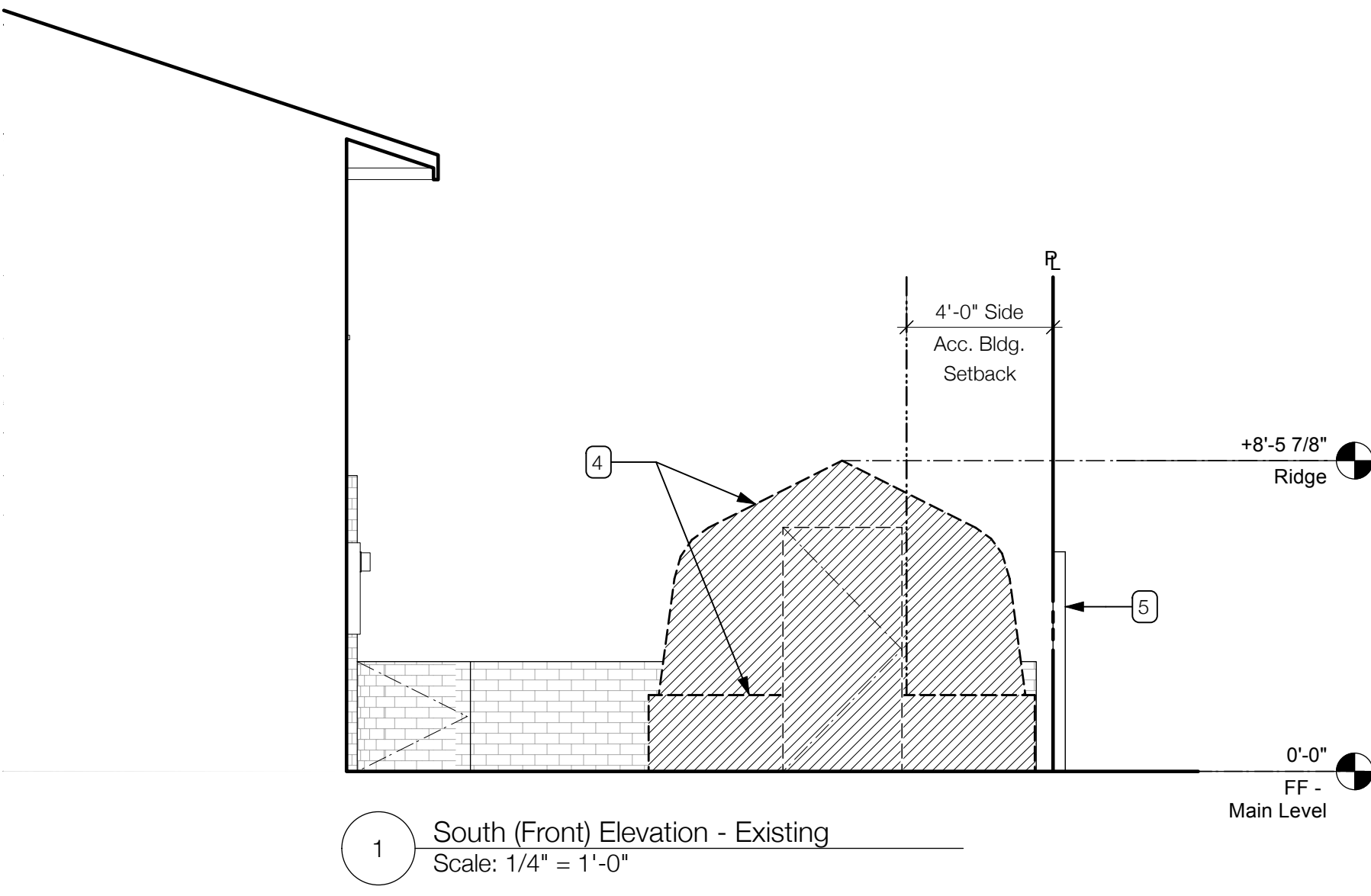
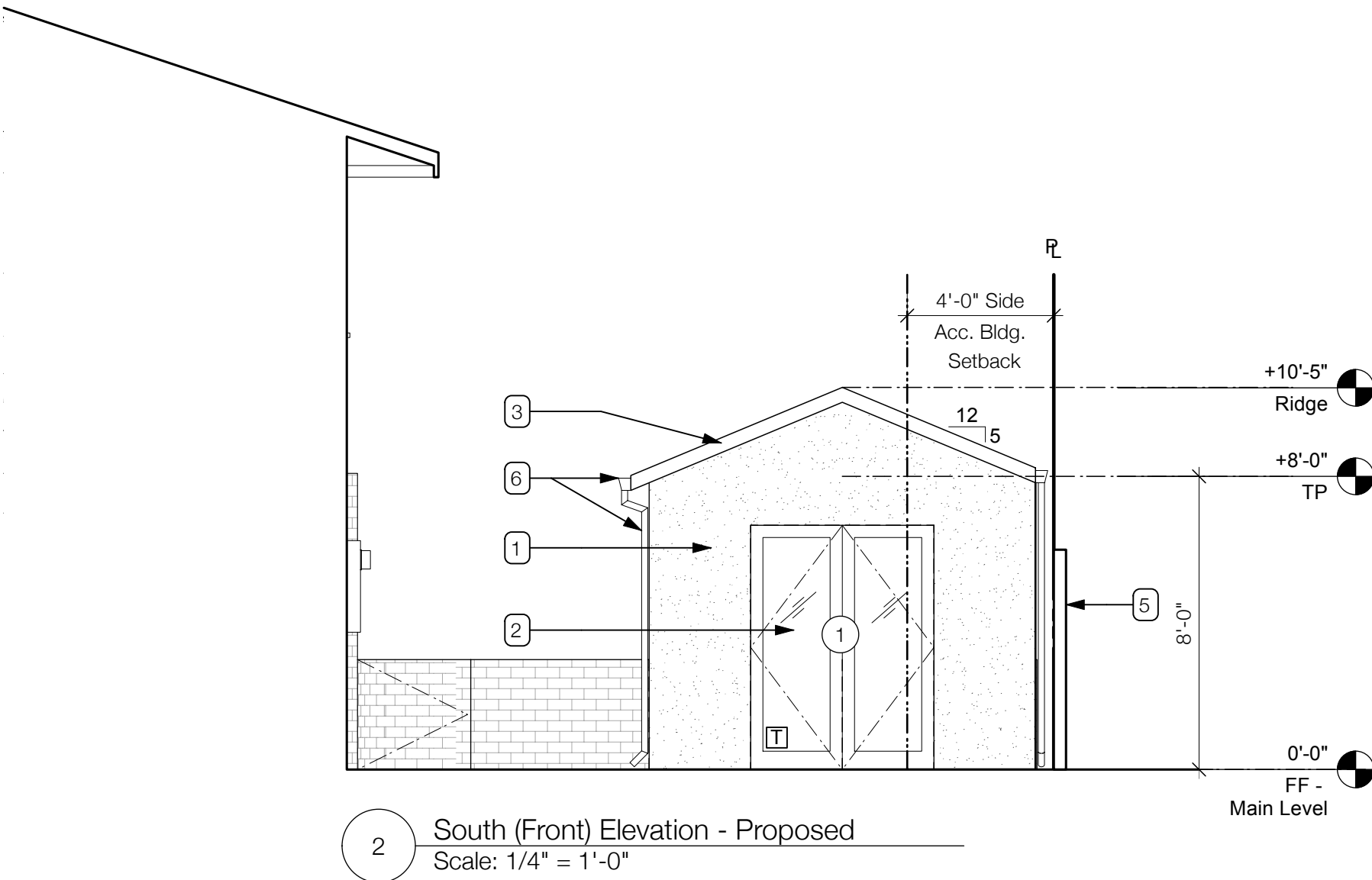
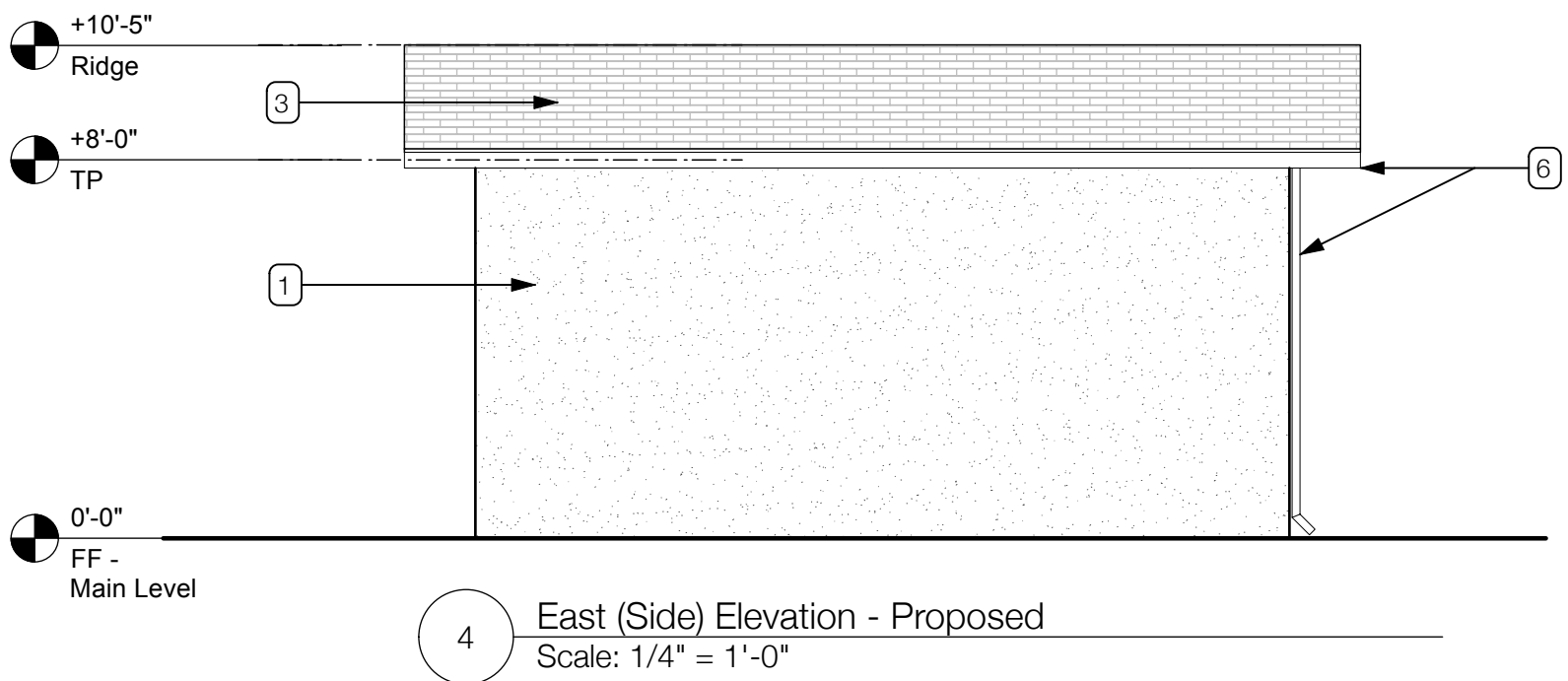
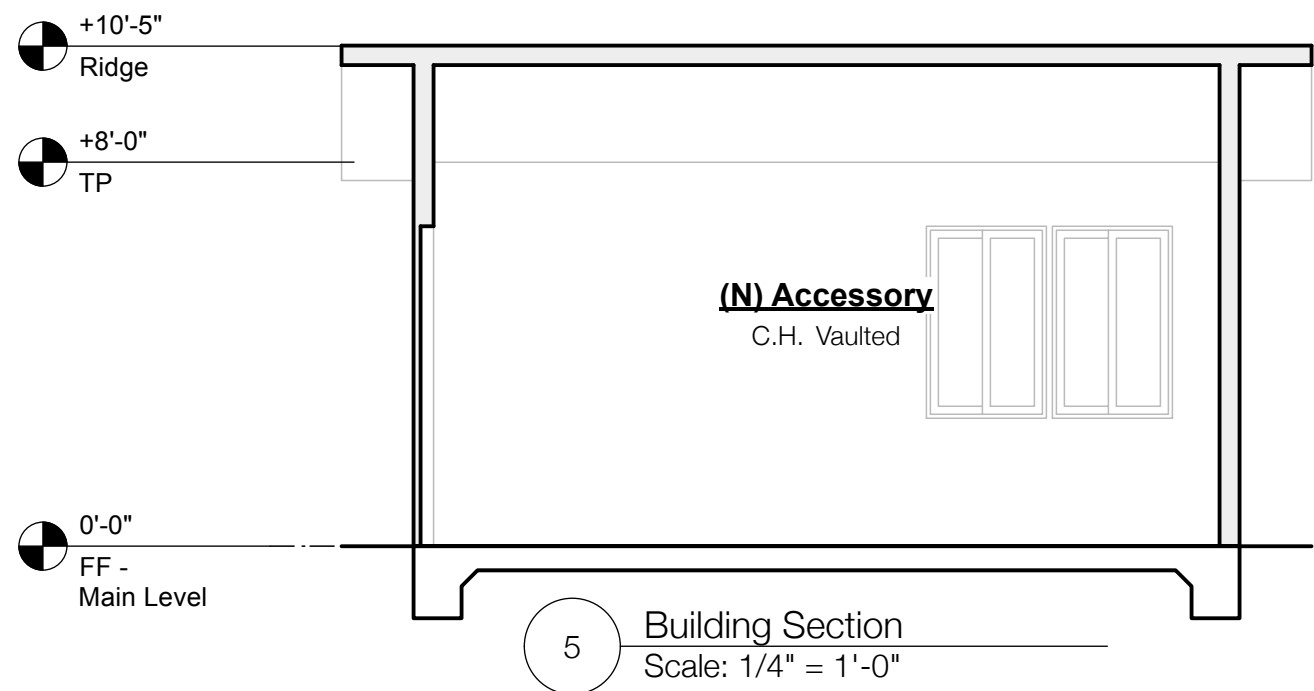


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Electrical and Lighting
Plan - Proposed

DATE	07/24/2025
PROJECT	24030
SCALE	1/4" = 1'-0"

A1.6



- Keynotes**
1. (N) Painted ext. cement plaster finish
 2. (N) French doors
 3. (N) Class-A Asphalt Comp. Roof Shingles
 4. Demo (E) Walls (Hatched, Typ.)
 5. (E) Wood fence
 6. (N) Gutter & Downspout; All Roof Gutters to have Debris Guards Installed, Typ.

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Alameda, CA 94501

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South (Front) & East (Side)
Elevations, Building Section

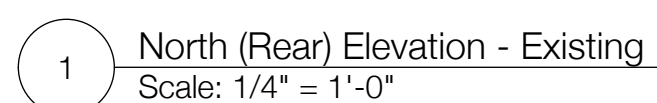
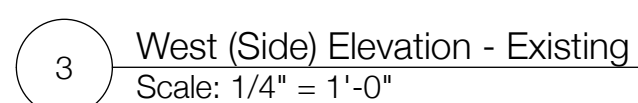
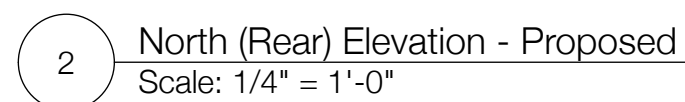
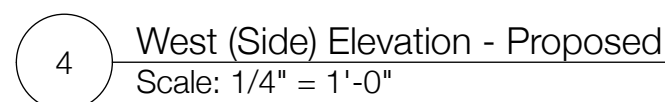
DATE 07/24/2025

PROJECT 24030

SCALE 1/4" = 1'-0"

A2.1

1. (N) Painted ext. cement plaster finish
2. (N) Class-A Asphalt Comp. Roof Shingles
3. (N) Vinyl windows to match (E)
4. (E) Wood fence
5. Demo (E) Walls (Hatched, Typ.)



NOTED FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION DATE
FILE: 24030 - 1407 Gibbons DRPC1 Acc.vwxw	

SCALE $1/4" = 1'-0"$

A2.2