

DESCRIPTION OF WORK

NEW PORCH DECK AND STAIRS. LARGER ENTRY LANDING TO ACCOMMODATE OWNER'S AGING IN PLACE IN THIS RESIDENCE

CODE SUMMARY

OCCUPANCY TYPE: R-3  
CONSTRUCTION TYPE: VB  
SPRINKLERED: EXISTING BUILDING NOT SPRINKLERED

BUILDING CODES  
CALIFORNIA RESIDENTIAL BUILDING CODE 2022  
CALIFORNIA BUILDING CODE 2022  
LOCAL AMENDMENTS

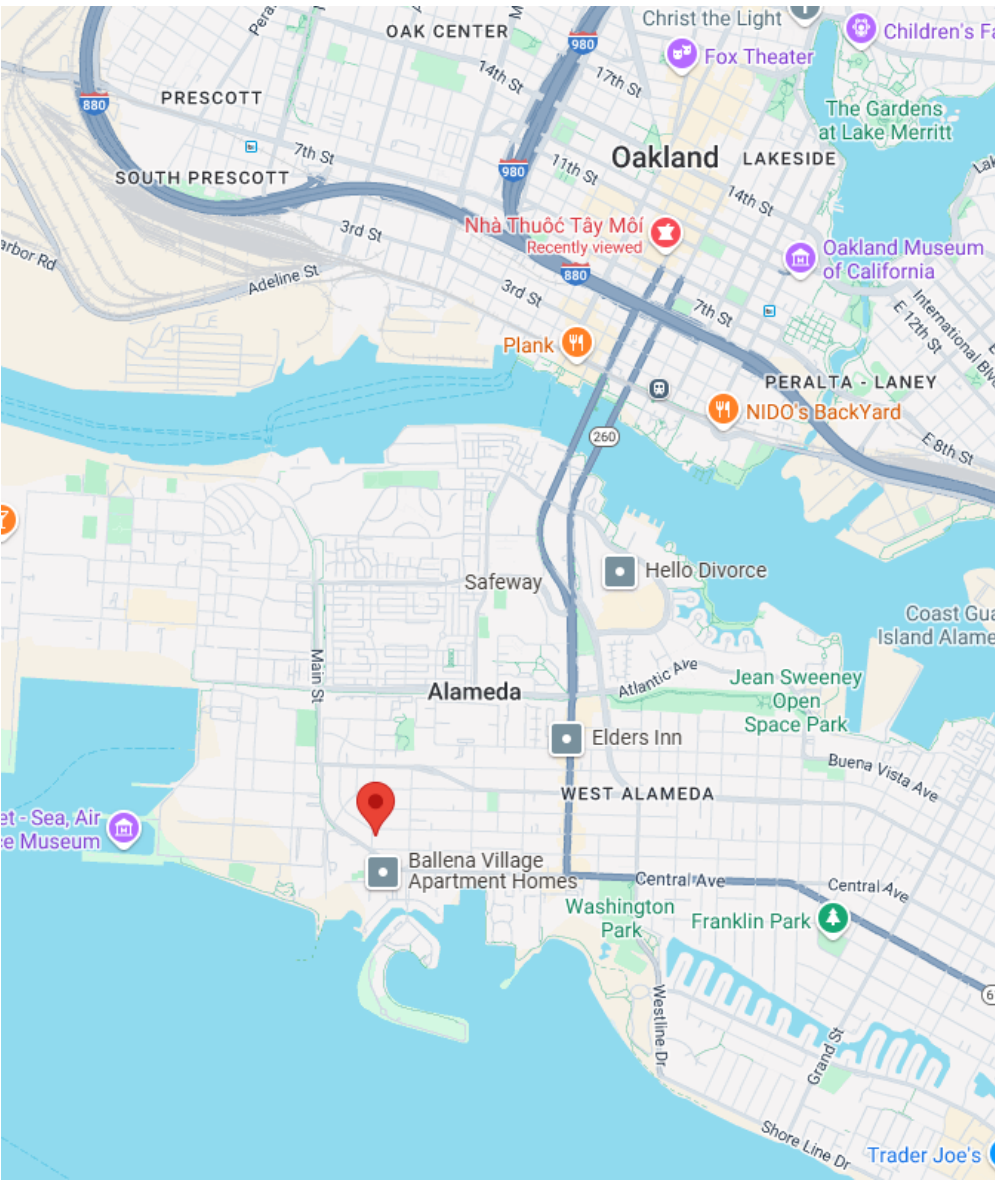
ZONING SUMMARY

ZONING TYPE: R-1 RESIDENTIAL  
EXISTING USE: SINGLE FAMILY HOME

PROPERTY SUMMARY

APN: 74-466-16  
EXISTING HOUSE AREA: 1,422 SF  
EXISTING LOT AREA: 7,000 SF  
LOT SITE COVERAGE: (1422 SF) / 7000 SF= 20.3% < 50% MAX  
PARKING SPACES EXISTING: 2-STALLS IN ACCESSORY GARAGE

VICINITY MAP



ABBREVIATIONS

ALUM	ALUMINUM	FD	FLOOR DRAIN; FIRE DETECTOR
APPROX	APPROXIMATE	FDC	FIRE DEPARTMENT CONNECTION
ARCH	ARCHITECTURE	FE	FIRE EXTINGUISHER; FLAT ENAMEL
		FEC	FIRE EXTINGUISHER CABINET
BD	BOARD	FR	FIRE RATED
BLDG	BUILDING	FURN	FURNITURE
BLKG	BLOCKING	FT	FOOT; FEET
BLTN	BUILT-IN	FURR	FURRING
BM	BEAM		
B.O.	BOTTOM OF	GA	GAGE
BOT	BOTTOM	GALV	GALVANIZED
		KIT	KITCHEN
CEM	CEMENT	LAV	LAVATORY
CL	CENTERLINE	LBS	POUND(S)
CLG	CEILING		
CLO	CLOSET		
CLR	CLEAR	MAX	MAXIMUM
CMU	CONCRETE MASONRY UNIT	MECH	MECHANICAL
COL	COLUMN	MFR	MANUFACTURER
CONC	CONCRETE	MIN	MINIMUM
		MIR	MIRROR
DET	DETAIL	MISC	MISCELLANEOUS
DIA	DIAMETER		
DIM	DIMENSION	(N)	NEW
DN	DOWN	NA	NOT APPLICABLE
DOC	DOCUMENT	NC	NOT IN CONTRACT
DWG	DRAWING	NO	NUMBER
		NOM	NOMINAL
(E)	EXISTING	NTS	NOT TO SCALE
EL	ELEVATION		
ELEV	ELEVATOR	O/	OVER; ON
ELEC	ELECTRICAL	OC	ON CENTER
		OFCI	OWNER FURNISHED/ CONTRACTOR
EQ	EQUAL	OPP	OPPOSITE
EQPM	EQUIPMENT		
EST	ESTIMATE		

MARY HALL PATRONE DECK

1422 3rd STREET  
ALAMEDA, CA 94501



PHOTO 01 STREET VIEW

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A00	COVER
A21	ENLARGED DECK FLOOR PLANS
A30	ELEVATIONS
A31	TREX DECK

GENERAL NOTES

1. CONSTRUCTION DOCUMENTS AND SPECIFICATIONS ARE COMPLIMENTARY. WHAT IS SHOWN ON ONE SHALL BE BIDDING AS IF REQUIRED BY ALL.
2. INVALIDITY OF ANY PROVISIONS IN THE CONTRACT DOCUMENTS DOES NOT INVALIDATE THE REMAINING ELEMENTS OF THE CONTRACT.
3. DIGITAL TRANSMISSION OF CAD DRAWINGS OR MODEL, IF REQUESTED, IS FOR REFERENCE ONLY. DESIGN TEAM SHALL BE HELD INDEMNIFIED FOR ALL BUILDING INFORMATION MODEL USE OR RELIANCE.
4. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH THE SITE CONDITIONS, FIELD DIMENSION AND COORDINATE WORK AS NEEDED WITH CONTRACT DOCUMENTS.
5. CONTRACTOR SHALL ALERT ARCHITECT TO ANY DISCREPANCY IN FIELD CONDITIONS OR AS DEFINED IN DRAWINGS.
6. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
7. CONTRACTOR IS RESPONSIBLE TO OWNER FOR ERRORS OR OMISSIONS OF THEIR SUBCONTRACTORS, AGENTS OR EMPLOYEES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF WORK PROGRESS AND SCHEDULE AND DETERMINE IF SPACE IS IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.
9. CONTRACTOR SHALL PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, WATER, HEAT, UTILITIES, TRANSPORTATION AND OTHER FACILITIES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.
10. CONTRACTOR MAY SUBSTITUTE MATERIALS ONLY WITH EXPRESSED CONSENT OF THE OWNER.
11. CONTRACTOR WARRANTS WORK WILL BE FREE OF DEFECTS EXCEPT FOR THOSE INHERENT IN THE QUALITY OF THE WORK.
12. CONTRACTOR SHALL COMPLY WITH ALL LOCAL LAWS.
13. CONTRACTOR SHALL PROVIDE NOTICE TO OWNER AND DESIGN TEAM IF CONCEALED OR UNKNOWN CONDITIONS ARE ENCOUNTERED THAT DIFFER FROM THOSE IN CONTRACT DOCUMENTS.
14. CONTRACTOR SHALL SUSPEND OPERATIONS SHOULD THEY ENCOUNTER HUMAN REMAINS, BURIAL MARKERS, ARCHAEOLOGICAL SITES OR WETLANDS NO INDICATED IN CONTRACT DOCUMENTS. OWNER SHALL PROMPTLY TAKE ACTION AS NEEDED FOR GOVERNMENTAL AUTHORIZATION REQUIRED TO RESUE WORK.
15. CONTRACTOR SHALL FURNISH CONSTRUCTION SCHEDULE PROMPTLY AFTER BEING AWARDED THE CONTRACT.
16. CONTRACTOR SHALL CONFINE OPERATIONS TO THE SITE AND SITE AREAS AS PERMITTED BY LOCAL CODE.
17. CONTRACTOR SHALL CUT, FIT OR PATCH AS NEEDED TO COMPLETE WORK AND ALLOW COMPONENT ASSEMBLIES TO FIT TOGETHER PROPERLY.
18. CONTRACTOR SHALL NOT CUT OR ALTER CONSTRUCTION BY THE OWNER OR A SEPARATE CONTRACTOR WITHOUT WRITTEN CONSENT.
19. CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREAS CLEAN AND REMOVE WASTE OR RUBBISH AS NEEDED TO ALLOW PROPER OPERATIONS.
20. CONTRACTOR SHALL ALLOW ACCESS TO THE WORK IN PREPARATION AND IN PROGRESS.
21. CONTRACTOR INDEMNIFIES OWNER, ARCHITECT AND ENGINEERING CONSULTANTS AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK.

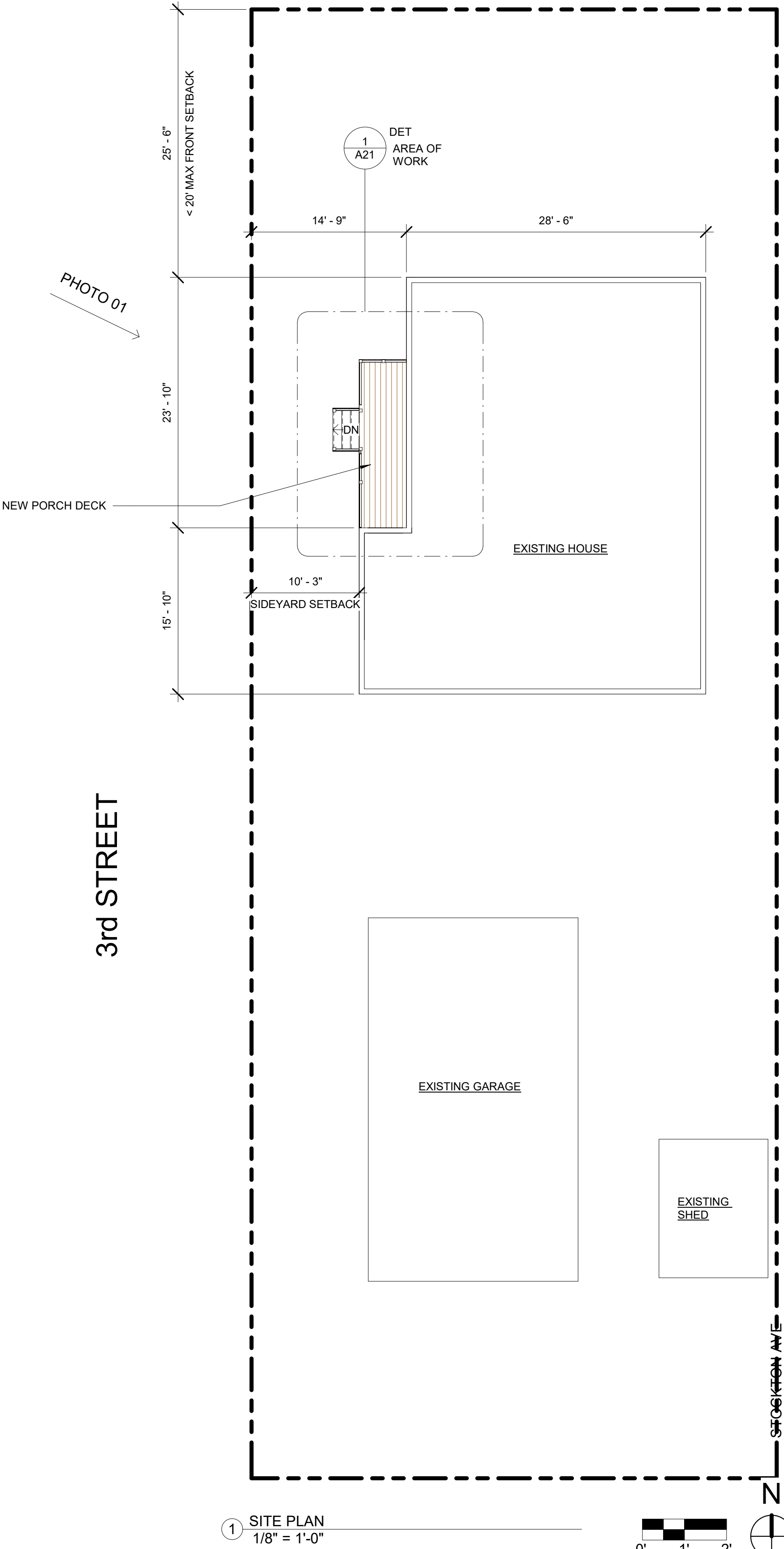
LIGHTING NOTES

1. ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY. [CENC 150.0(K)1A]

ELECTRICAL NOTES

1. ALL OUTLETS AFCI UNLESS NOTED AS GFCI. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [CEC 210.12(A)]
2. ALL NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. [CEC 406.12]

SANTA CLARA AVE



phantomarchitecture  
www.phantomarchitecture.com

Owner  
1422 Third Street  
Alameda, CA 94501  
Contact: Mary Hall Patrone  
Phone: 510.545.6547  
e-mail: mary@littlequilter.com

Architect  
PhanTom Architecture Studio  
740 Mandana Blvd  
Oakland, CA 94610  
Contact: Michael R Tom, AIA  
Phone: 415.857.5592  
e-mail: mtom@phantomarchitecture.com

No.	Description	Date
	PERMIT	07/08/2025



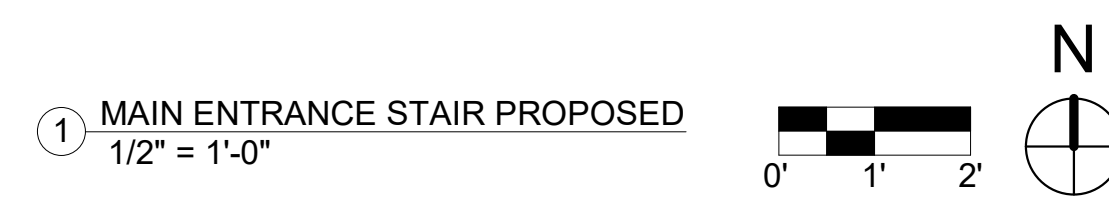
MARY HALL PATRONE DECK  
1422 3rd STREET  
ALAMEDA, CA 94501

COVER

A00

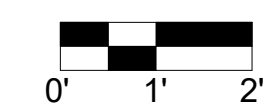
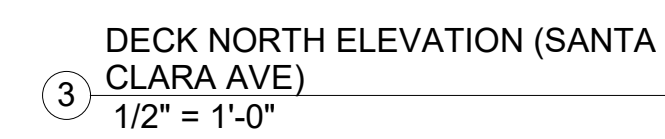
Scale 1/8" = 1'-0"



[illegible]

A21

Scale	1/2" = 1'-0"
-------	--------------

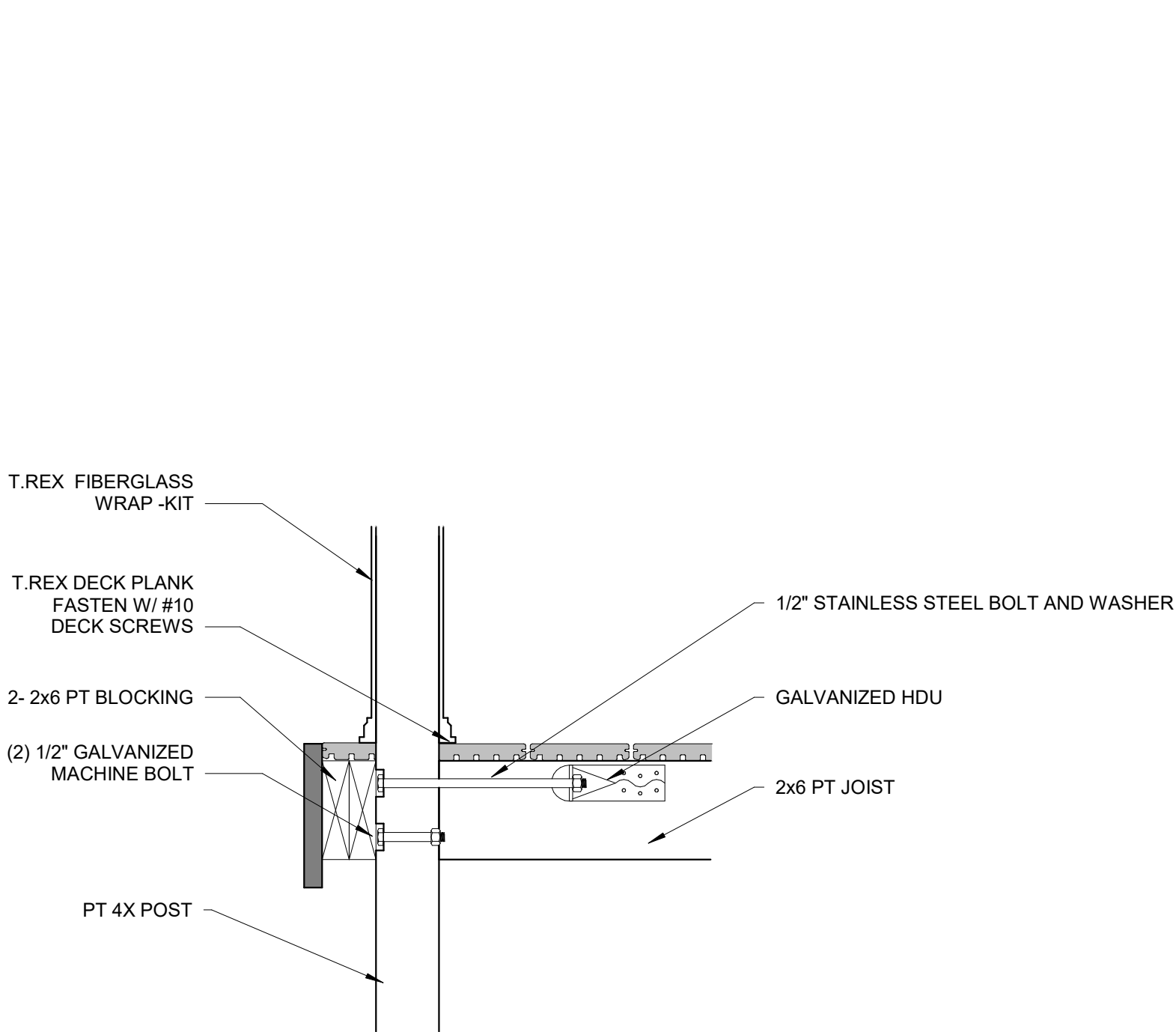
[illegible]

## ELEVATIONS

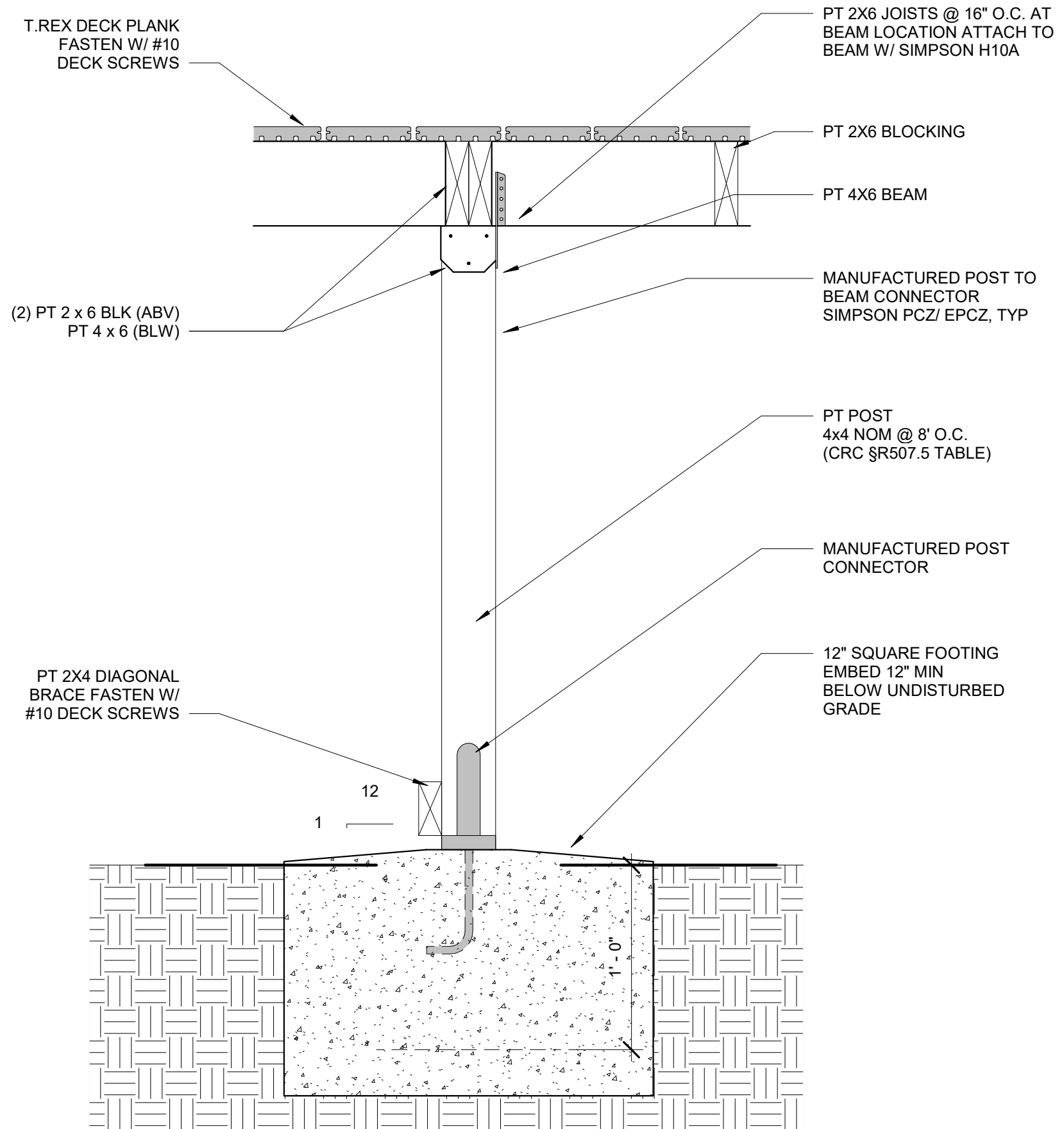
# A30

Scale	1/2" = 1'-0"
-------	--------------

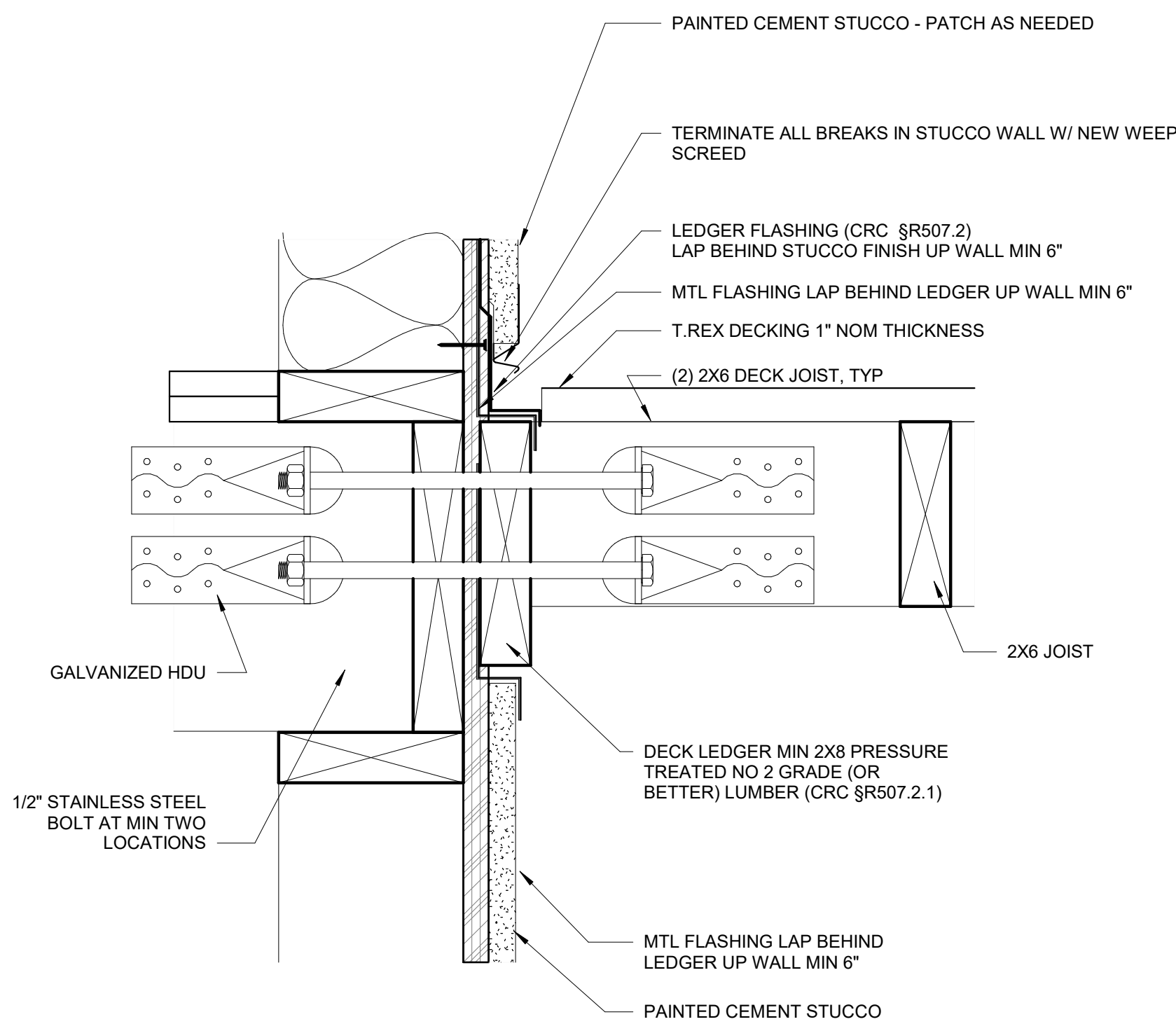




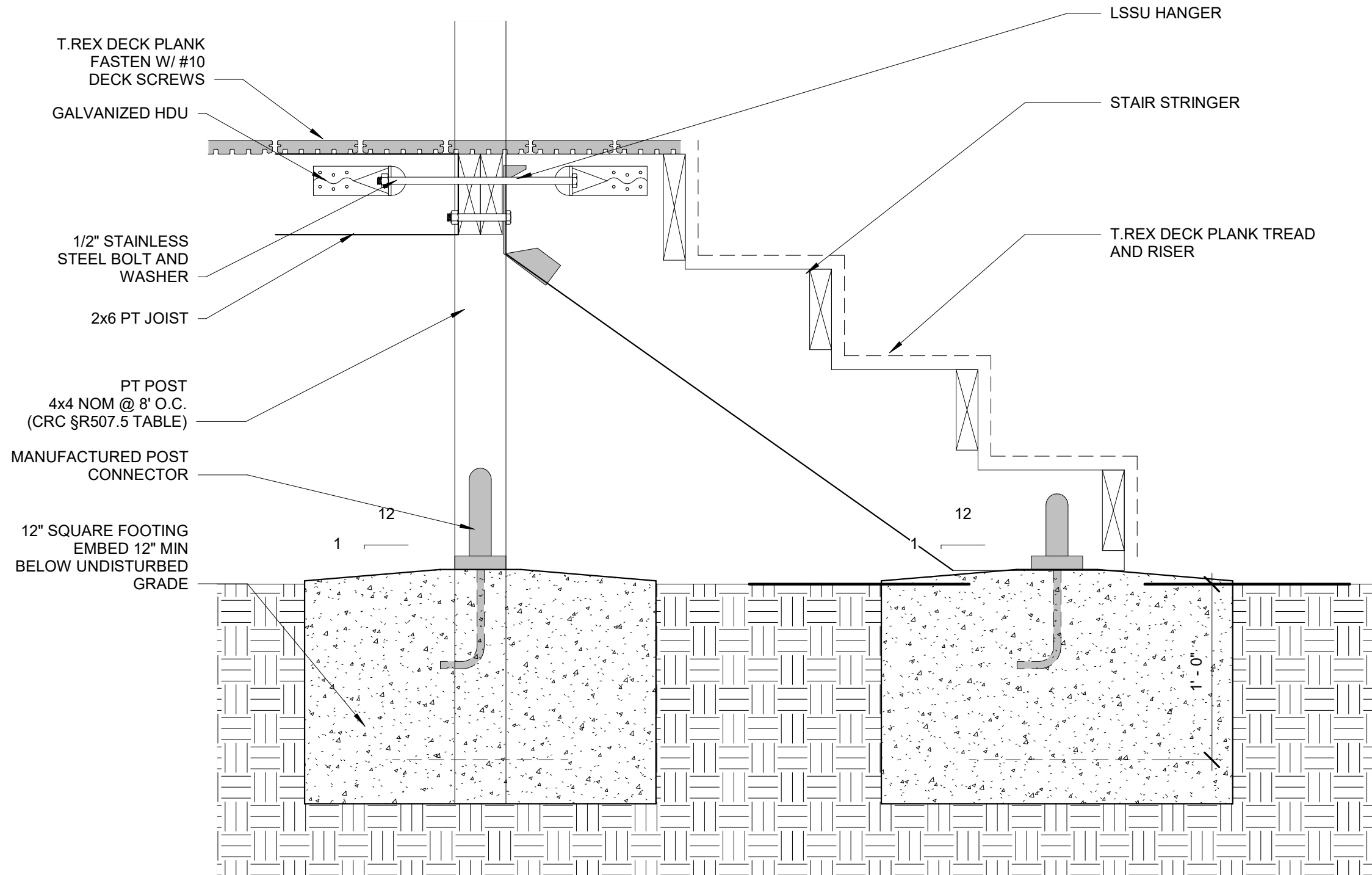
2 GUARD RAILING POST  
1 1/2" = 1'-0"



1 DECK SUPPORT  
1 1/2" = 1'-0"



4 LEDGER WATERPROOFING  
3" = 1'-0"

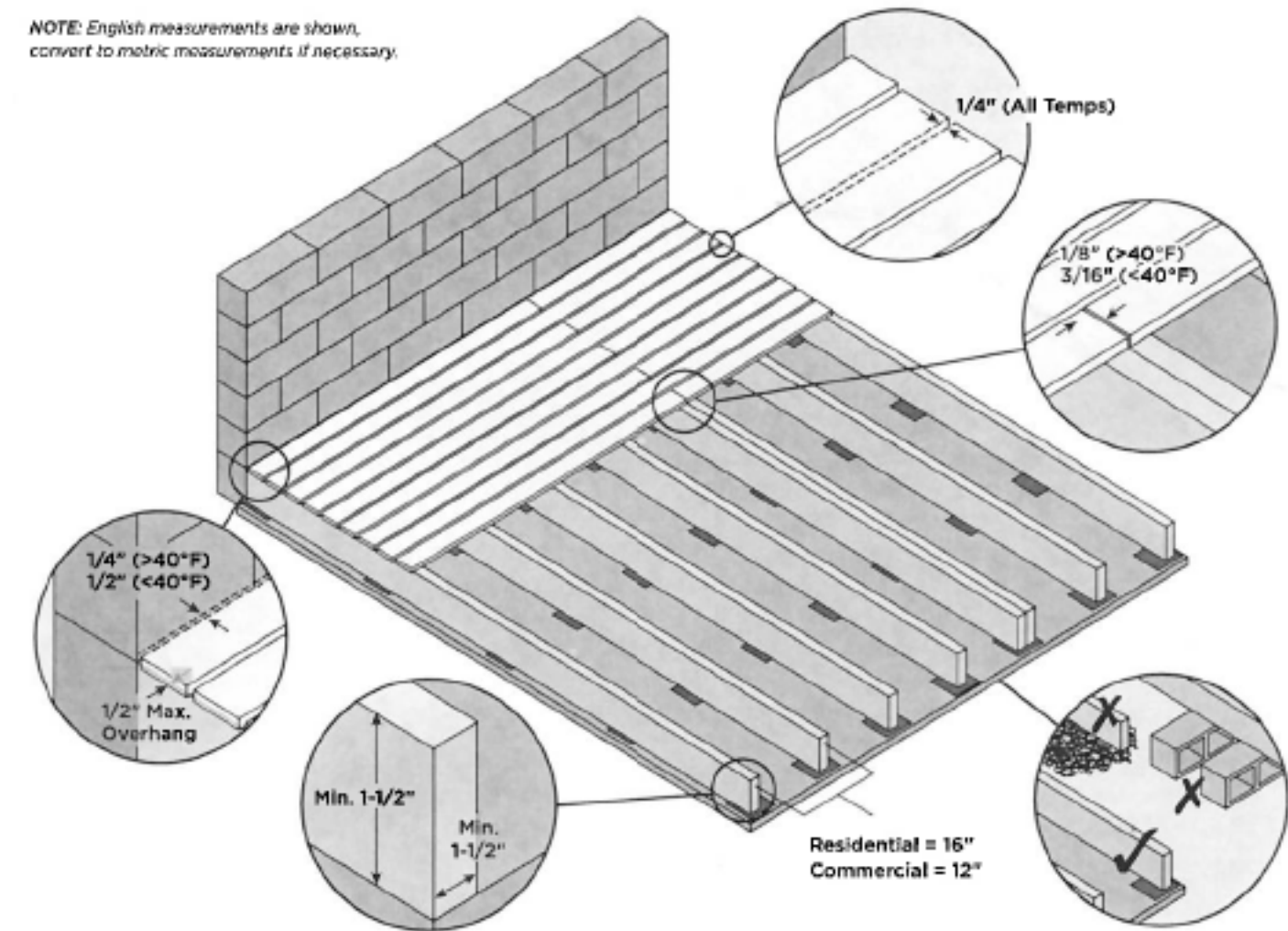


3 DECK STAIR  
1 1/2" = 1'-0"

## ROOFTOP AND SLEEPER DECK SYSTEMS-PRESSURE TREATED FRAMING

A sleeper system is a substructure between a solid surface and Trex decking. Drainage, access, and airflow are critical. Water must be able to flow through and away from the deck. For repairs and removal of debris, joist system access may be necessary.

NOTE: English measurements are shown, convert to metric measurements if necessary.



- » It is recommended that building-code-approved structural material be used as the supports.
- » This system should not be allowed to float; it must be attached in a manner that secures the framing/system.
- » The sleeper system must be level and have no uneven undulations. Any uneven areas of the substructure will transfer to the Trex decking, resulting in uneven decking.
- » Trex, when used with a sleeper system, must be supported below its entire length. If using in a roofing application, the supports must run the direction of the pitch of the roof to facilitate proper drainage. Sleeper should be placed perpendicular to the deck board orientation.
- » For commercial applications, consult a local building code official for specific requirements.
- » If installing decking at an angle, decrease spans 4" (100 mm) for each of the above, (12" (305 mm) for residential and 8" (204 mm) for commercial).
- » For sleeper systems where small debris (pine needles, leaves, sand, dirt) can accumulate either between or under deck boards, a minimum of 1-1/2" (38mm) height is allowable. Trex recommends the use of Trex Universal Hidden Fasteners or 2" Starborn Cap-Tor® xd - Epoxy Coated screws. (NOTE: Trex recommended composite decking screws are too long when using 1-1/2" (38 mm) height as this will penetrate through the sleeper.) For areas with the potential for debris buildup, a minimum 3-1/2" (89 mm) or greater height is recommended to allow the debris to be removed along with the use of either Trex Universal Hidden fasteners or any Trex recommended screws.
- » Always consult your local building code authority for proper details on roof and railing installation to the roof structure if required.
- » Any deviation from these recommendations could result in the voiding of the Trex warranty.

## CODE COMPLIANCE

### Joist Spanning for Decking

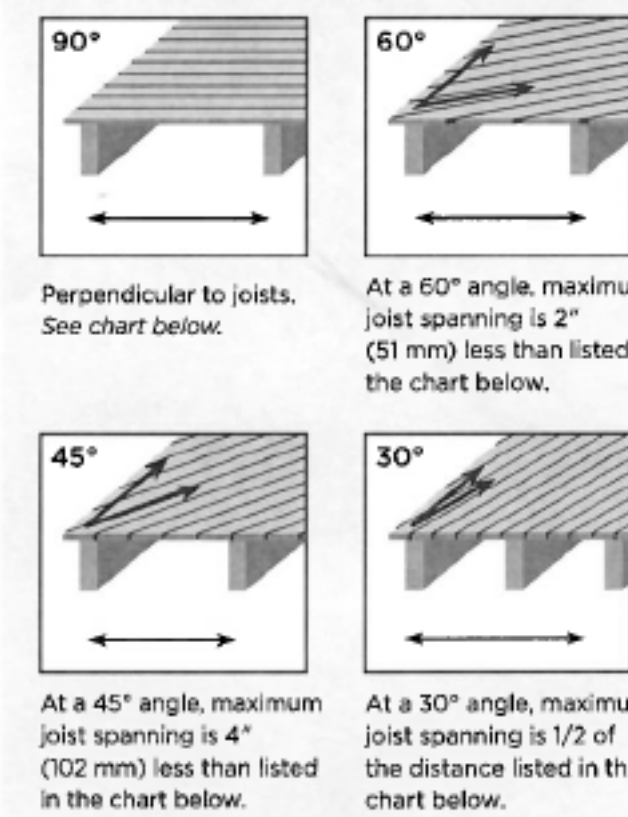
Trex decking meets all applicable national model building codes. The joists must be spaced on center according to the chart below. Be sure that joists are level and plumb. Trex decking must span at least three joists. For heavy items such as hot tubs, planters, etc., consult a local building engineer or inspector for span recommendations. If you want to minimize the appearance of joists through the spaces between boards, paint the top of your joists black.

### Code Listings

Trex complies with major model building codes and has been evaluated by the International Code Council evaluation service.

For a Safety Data Sheet (SDS), please visit [WWW.TREX.COM](http://WWW.TREX.COM)

### ADJUST JOIST SPACING TO ACCOMMODATE ANGLED DECKING PATTERNS



TREX DECKING SPAN CHART (On Center)			
	Residential Decks, Light Duty Decks, Residential/Day Care Playground	Commercial Decks, Boardwalks and Marinas	
Decking Loading	100 psf = 4.8 kN/m2	100 psf = 4.8 kN/m2	200 psf = 9.5 kN/m2
1" (25 mm) Boards (including Porch), and .875" (22 mm) Select Boards	16" (406 mm)	16" (406 mm)	12" (305 mm)
2" x 6" (51 mm x 152 mm) Boards	24" (610 mm)	24" (610 mm)	16" (406 mm)
TREX RAILING SPAN CHART			
Maximum Railing Span for all Applications			
Transcend, Select railing, and Trex® Signature™ railing	96" on center (2438 mm) for Transcend, 72" on center (1829 mm) for Select, 96" (2438 mm) clear span for Trex® Signature™		

NOTE: Construction methods are always improving. Please refer to [www.trex.com](http://www.trex.com) for the most up-to-date installation requirements.

phantomarchitecture

www.phantomarchitecture.com

Owner  
1422 Third Street  
Alameda, CA 94501  
Contact: Mary Hall Patrone  
Phone: 510.545.6547  
e-mail: mary@littlequilter.com

Architect  
PhanTom Architecture Studio  
740 Mandana Blvd  
Oakland, CA 94610  
Contact: Michael R Tom, AIA  
Phone: 415.857.5592  
e-mail: mtom@phantomarchitecture.com

DECKING

27

No.	Description	Date



MARY HALL PATRONE DECK  
1422 3rd STREET  
ALAMEDA, CA 94501

TREX DECK

A31

Scale As indicated

29

6/21/2025 11:10:37 AM