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DESIGN REVIEW FOR STAIR (FRONT) REPLACEMENT
RESIDENTIAL UNITS ALTERATION

2121 ENCINAL AVENUE, ALAMEDA, CA 94501
APPLICANTS/PROPERTY OWNERS: Xiaolei Xue and Jing Wen Zhang

PROPERTY INFORMATION

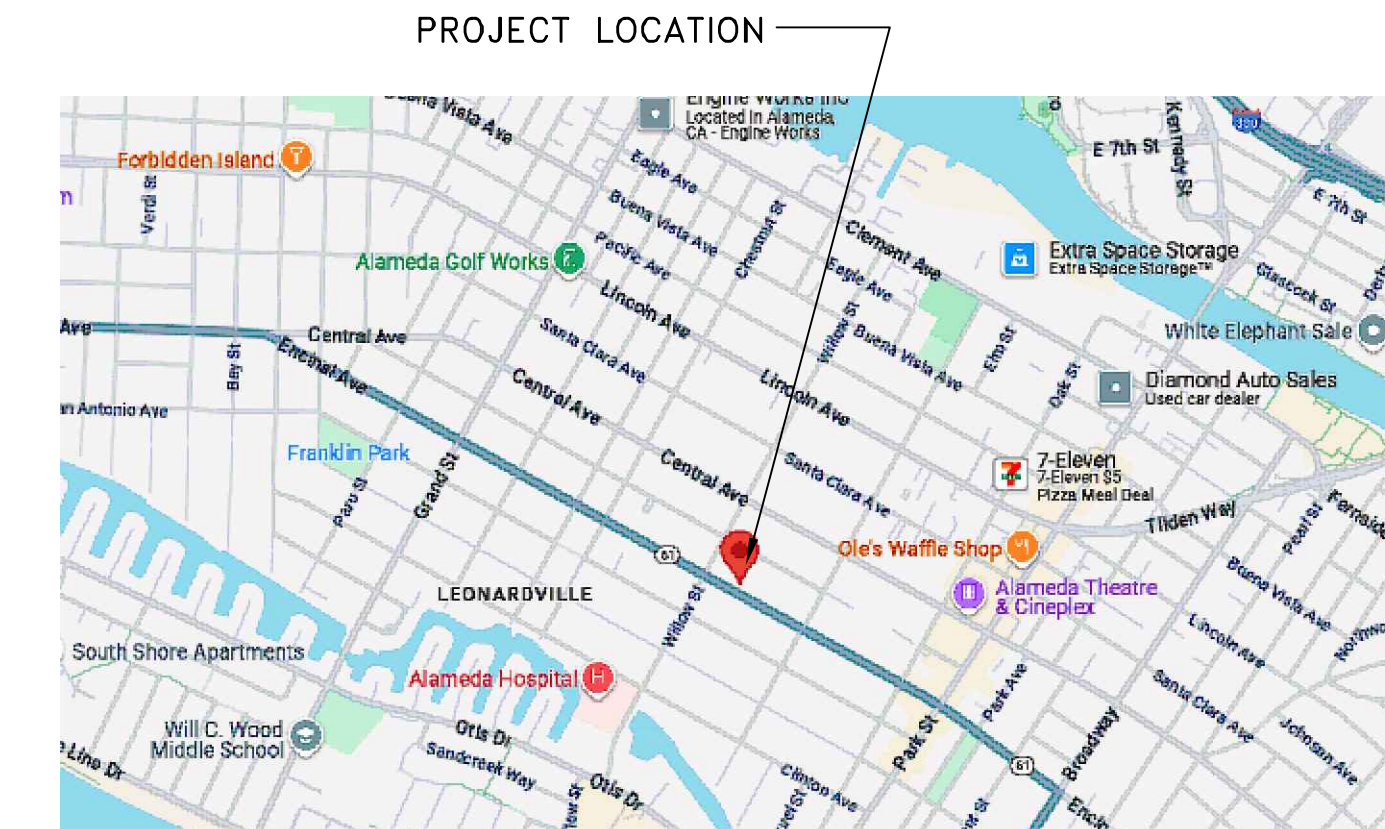
Table with 2 columns: Property Information and Value. Includes Zoning Classification (R-4), Parcel Number (071-0237-019), Occupancy Classification (R-3), Type of Construction (VB), Total Lot Area (7,000 SF), (E) Floor Area (Ground Level, Unit A: 810SF + Unit B: 860SF) (1,670 SF), (E) Floor Area (Second Level, Unit A: 1,604 SF) (1,604 SF), Total (E) Floor Area (3,274 SF), (E) Porch Area (78 SF), Stairs (86 SF + 70 SF) (156 SF), Fire Sprinklers System (Ex. Residential Units) (NO), (N) Floor Area (ADU No. 1, Unit C, Separate Permit) (943 SF), (N) Floor Area (ADU No. 2, Unit D, Separate Permit) (943 SF), Total (N) Floor Area (1,886 SF), Fire Sprinklers System (New ADU Units) (NO), -Total Footprint Area (1,826 SF + 1,886 SF) (3,712 SF), Lot Coverage (53.03 %), Existing Building is a two-unit, 2-story building.

SCOPE OF WORKS

- 1. Remodel existing residential units and replace existing foundations.

APPLICABLE CODES AND REQUIREMENTS

- 2022 California Residential Code
2022 California Mechanical Code
2022 California Green Building Standards Code (CALGreen)
2022 California Fire Code
2022 California Plumbing Code
2022 California Electrical Code
2022 California Energy Code
The City of Alameda Municipal Code



PROJECT LOCATION

GENERAL NOTES

- 1. THE FOLLOWING NOTES AND TYPICAL APPLY TO ALL DRAWINGS UNLESS NOTED OTHERWISE.
2. CONSTRUCTION DRAWING NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
3. CONTRACTORS SHALL VERIFY DIMENSIONS AND LOCATIONS AND ACCESSIBILITY OF THE EXISTING UTILITIES AND CONDITION PRIOR TO START OF CONSTRUCTION. ANY TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS, SECTIONS AND DISCREPANCY SHALL BE REPORTED TO ENGINEER AND OWNER IMMEDIATELY IN WRITING PRIOR TO COMMENCING WORK.
4. ALL WORK SHALL CONFORM TO 2022 CRC, FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS, LAWS AND ORDINANCES.
5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW BY THE ENGINEER.
6. IN CASE OF CONFLICT BETWEEN TWO PARTS OF THE DRAWINGS OR BETWEEN THE DRAWINGS AND THESE GENERAL NOTES, CONTRACTOR/SUBCONTRACTOR SHALL BE DEEMED TO HAVE BID THE MORE COSTLY ALTERNATE, BUT SHALL NOT PROCEED WITH THE WORK UNTIL VERIFYING THE PROPER PROCEDURE WITH THE OWNER.
7. THE PROJECT SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE OF FROM RUBBISH AND ACCUMULATIONS OF WASTE. EACH CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN CLEANUP AND SHALL REMOVE ALL WASTE AND DEBRIS RESULTING FROM HIS OR HER WORK.
8. NO CHANGES IN SPECIFIED MATERIALS MAY BE MADE WITHOUT PRIOR CONSENT OF THE OWNER.
9. EACH CONTRACTOR OR SUBCONTRACTOR SHALL MAINTAIN PUBLIC LIABILITY AND WORKMAN'S COMPENSATION INSURANCE IN THE AMOUNTS SATISFACTORY TO THE OWNER. CONTRACTOR AND/OR SUBCONTRACTOR SHALL TAKE ALL PRUDENT MEASURES TO SAFEGUARD ADJACENT PUBLIC AND PRIVATE PROPERTY AND SHALL BE SOLELY RESPONSIBLE FOR THE PROPER BEHAVIOR OF HIS OR HER PERSONNEL.
10. IN ADDITION TO SPECIFIC DETAILS OF DRAWING OR NOTES, EACH CONTRACTOR OR SUBCONTRACTOR SUPPLYING WORK EXPOSED TO THE WEATHER SHALL BE RESPONSIBLE TO PROVIDE ALL LABOR AND MATERIALS REQUIRED TO MAKE HIS OR HER PART OF THE JOB WATERTIGHT.
11. THE WORK OF EACH CONTRACTOR SHALL BE DEEMED TO BE GUARANTEED IN COMPLIANCE WITH CALIFORNIA LAW FOR MINIMUM OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER, EXCEPT THAT LONGER GUARANTY PERIODS WHERE SET FORTH IN THESE NOTES MAY BE REQUIRED OF SOME TRADES.
12. EACH CONTRACTOR BY COMMENCING THE WORK ON HIS TRADE VERIFIES THAT HE HAS INSPECTED AND ACCEPTED THE WORK OF PRIOR TRADES. IF WORK DONE BY PREVIOUS CONTRACTOR IS NOT ACCEPTABLE, CONTRACTOR SHALL BE BROUGHT TO ATTENTION OF THE OWNER IN TIMELY MANNER FOR DIRECTION ON PROPER PROCEDURE.

PAINTING

- 1. ALL INTERIOR CEILING AND WALL FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS III OR BETTER AS DETERMINED BY UBC TUNNEL TEST STANDARD 42-1.
2. ALL EXTERIOR PAINTING SHALL BE TWO COATS, MINIMUM ONE COAT OF SEALER AND ONE OR MORE OF FINISH COAT TO COVER EXCEPT THAT SHINGLE STAIN MAY BE APPLIED IN ONE COAT.
3. ALL INTERIOR PAINTING SHALL BE SEMI-GLOSS AND APPLIED OVER SEALER; INTERIOR PAINTING MAY BE ONE COAT IF COVERAGE IS COMPLETE AND SATISFACTORY WITH THE OWNER.
4. PAINTING FOR PLUMBING VENTS, EXPOSED FLASHINGS AND OTHER ITEMS PENETRATING ROOF SHALL BE PAINTED TO MATCH EXISTING AND SURROUNDING MATERIAL AS WEATHERED.

DOORS AND WINDOWS

- 1. DOORS AND FRAMES SHALL BE DELIVERED IN SETS OF PREFRITTED DOORS INSTALLED IN FRAMES. FRAMES FOR THE EXTERIOR DOORS SHALL BE ONE PIECE OR RABBETED CONSTRUCTION.
2. ALL DOORS SHALL BE PAINT GRADE SLAB TYPE UNLESS OTHERWISE NOTED. EXTERIOR DOORS SHALL BE SOLID CORE, 1 3/4" THICK AT BACKYARD ENTRY. FRENCH DOORS SHALL BE 1 3/4" THICK AND GLAZING SHALL CONFORM TO APPLICABLE SECURITY REGULATIONS.
3. INTERIOR DOORS SHALL BE 1 3/8" THICK, HOLLOW CORE.
4. SLIDING DOORS AND WINDOWS SHALL BE MANUFACTURED OF ALUMINUM EXTRUSIONS AND SHALL BE PROVIDED WITH NAIL-ON FINISH COMPLY WITH CERTIFICATION AND LABELING REQUIREMENTS OF ANSI A134.4 FOR AIR INFILTRATION.
5. ALL GLASSES SHALL MEET THE REQUIREMENTS OF CRC CHAPTER 3 FOR SIZE AND STRENGTH. ALL WINDOWS SHALL HAVE A U-FACTOR OF 0.32 OR LOWER.
6. ALL WINDOWS AND SLIDING DOORS SHALL BE DOUBLE GLAZED.
7. ALL FIXED GLASS SHALL BE SET IN ALUMINUM FRAMES UNLESS OTHERWISE NOTED.
8. SHOWER DOORS AND ENCLOSURES SHALL BE 3/16" SHATTER PROOF SAFETY GLASS OR APPROVED EQUAL.

SHEET METAL AND FLASHING

- 1. ALL SHEET METAL AND FLASHING WORK SHALL CONFORM TO CRC CHAPTER 15. ALL FLASHINGS SHALL BE 26 GA. GALVANIZED UNLESS OTHERWISE NOTED. FLASH ALL VALLEYS, RIPS AND RIDGES AND INTERSECTIONS OF ROOF WITH VERTICAL SURFACES.
2. FLASH AROUND ALL EXTERIOR OPENINGS WITH WATERPROOF BUILDING PAPER, SISALKRAFT OR EQUAL.
3. CONTRACTOR SHALL PROVIDE G.I. DIVERTERS AS SHOWN ON ROOF PLAN AND G.I. GUTTERS, DOWNSTPOUTS AND CONCRETE SPLASH BLOCKS FOR A COMPLETE JOB.

GYPSON BOARD

- 1. GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO CRC CHAPTER 25. ALL GYPSUM BOARDS USED FOR WALL AND CEILING SHOULD BE 5/8" THICK, TYPE X.
2. JOINTS SHALL BE TREATED WITH TAPE AND COMPOUND, NAILS SHALL BE TREATED WITH COMPOUND SO AS TO BE INVISIBLE AFTER FINISH TEXTURE AND PAINTING.

TITLE 24 NOTES

Table with 2 columns: Insulation and R-value. Includes Ceiling (R-30), Walls (R-15), Floor (Second Level) (R-19), Floor (Ground Level) (R-0).

DUCTS SHALL BE CONSTRUCTED (R-6), INSTALLED AND INSULATED PER CHAPTER 4 OF 2022 CMC.

DOORS AND WINDOWS SHALL BE WEATHER STRIPPED AND CERTIFIED AND LABELED ACCORDING TO CRC SECTIONS R302.5.1, R30 R303.1, R303.3, R308.1, R308.4.2, R308.4.3, R310.1, R310.4, AND R312.2.

ALL JOINTS AND OPENINGS CAULKED AND SEALED INCLUDING: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES; PENETRATIONS IN WALLS, CEILING AND FLOORS FOR PLUMBING, ELECTRICITY, AND OTHER UTILITIES. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

FANS AND EXHAUST SYSTEMS SHALL HAVE BACKDRAFT DAMPERS OR AUTOMATIC DAMPERS.

WATER HEATER (ADU) SHOULD BE 40-Gallon 3.10UEF HEAT PUMP WATER HEATER.

HEATER (ADU) SHOULD BE 1.50 TON VARIABLE CAPACITY DUCTLESS MINI-SPLIT HEAT PUMP.

HVAC SYSTEM

- 1. HEATING AND/OR AIR CONDITIONING WORK SHALL BE COMPLY WITH 2019 CALIFORNIA MECHANICAL CODE AND TITLE 24 AND OTHER APPLICABLE LOCAL ORDINANCES.
2. HVAC CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTING SYSTEM CAPABLE OF MAINTAINING AN INTERIOR TEMPERATURE OF 68° IN WINTER.

PLUMBING

- 1. ALL WORK SHALL COMPLY WITH 2019 CALIFORNIA PLUMBING CODE. THE WORK FOR THE PLUMBING CONTRACTOR SHALL INCLUDE ALL GAS, WATER (HOT & COLD) AND SEWER LINES TO CONNECTIONS WITH EXISTING SYSTEM AND FACILITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR AND MATERIALS FOR THE COMPLETION OF THE BATHROOM, PIPED LINES TO AND FROM HVAC UNITS, HOSE BIBBS AS NECESSARY TO COMPLETE THE JOB.

PLUMBING AND FIXTURES

- 1. FAUCETS IN KITCHENS, WET BARS, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT EXCEED 1.8 GALLONS PER MINUTE.
2. FAUCETS IN RESIDENTIAL LAVATORY SHALL HAVE A WATER FLOW NOT EXCEED 1.2 GALLON PER MINUTE AT 60 PSI.
3. FAUCETS IN PUBLIC USE SHALL HAVE A WATER FLOW NOT EXCEED 0.5 GALLON PER MINUTE AT 60 PSI.
4. METERING FAUCETS SHALL HAVE A WATER FLOW NOT EXCEED 0.2 GALLON PER METERING CYCLE.
5. SHOWER HEADS SHALL HAVE A WATER FLOW NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.
6. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH.
7. LAVATORY FAUCETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.2 CMP AT 60 PSI.



Vertical project information and title block containing: PROJECT INFORMATION, NOTES, AND PROJECT LOCATION MAP; RESIDENTIAL UNITS ALTERATIONS; HI CONSULTANTS; 137 VICTORY CIRCLE; SAN FRANCISCO, CA 94552; PROJECT NUMBER; DATE: 10/15/2024; SCALE: AS NOTED; SHEET NO.: 4-1.









LOOKING NORTH (TOWARD 2119 ENCINAL AVENUE)



LOOKING SOUTH (TOWARD 2125 ENCINAL AVENUE)



LOOKING BETWEEN BUILDINGS (2119 AND 2121 ENCINAL AVENUE)



LOOKING BETWEEN BUILDINGS (2121 AND 2125 ENCINAL AVENUE)


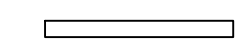
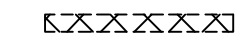
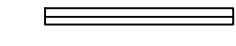
EXISTING SITE PHOTOS

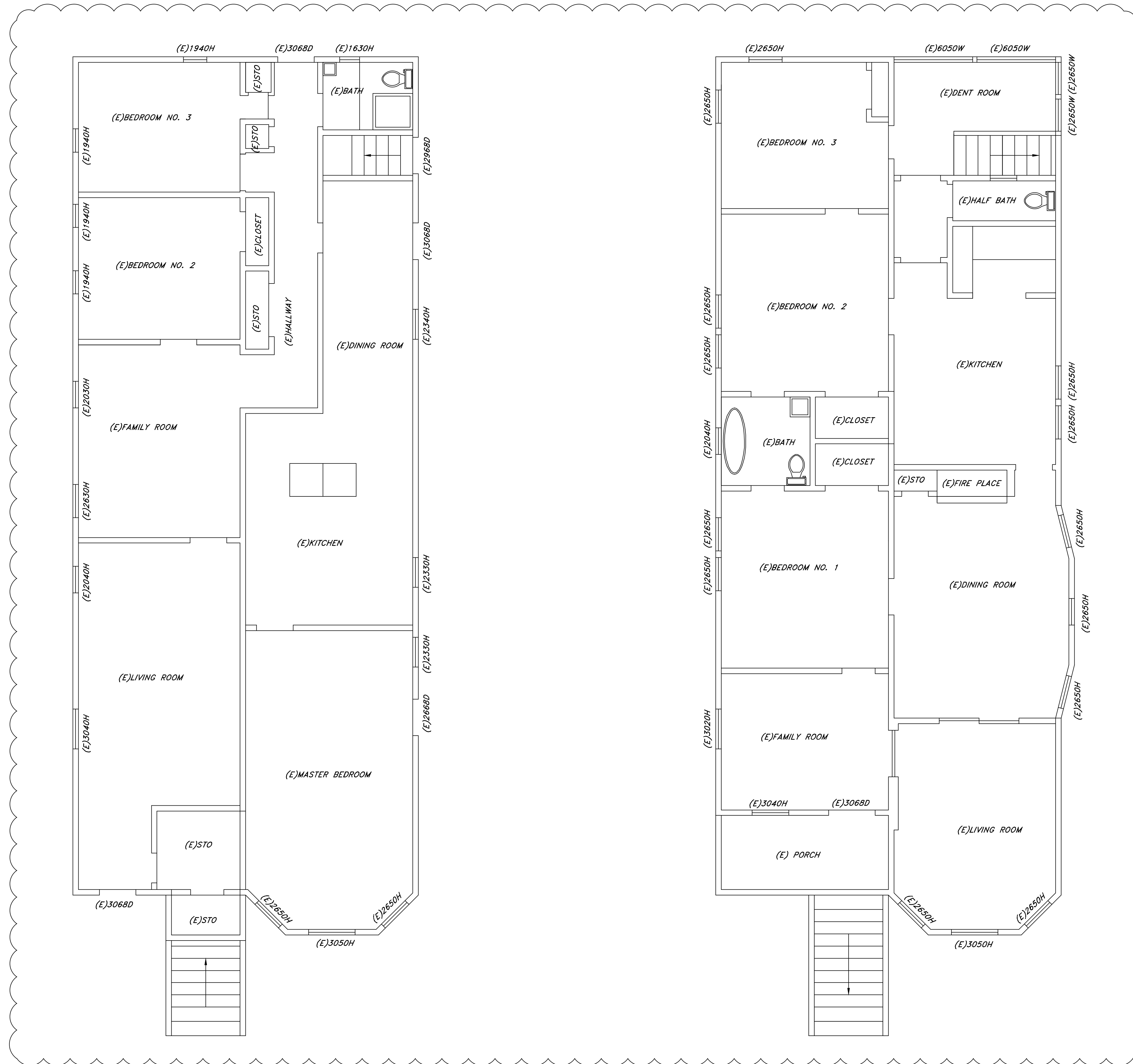
EXISTING SITE PHOTOS		MAIN HOUSE (UNITS A & B)		2121 ENCINAL AVENUE ALAMEDA, CA 94501		TOTAL SHEETS: 4 FILE NO.: 2024-815 SHEET NO.: A-2.2	
HI CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (925) 289-1888		DESIGNED BY: HWL CHECKED BY: HWL DATE:		PROJECT NUMBER:		DATE: 10/15/2024	
REV.	DATE	BY	DESCRIPTION				



*Henry Wan Loeh*

LEGEND:

-  (N) WALL
-  (E) WALL
-  (E) TO BE REMOVED
-  WINDOW



GROUND LEVEL (FIRST FLOOR)

SECOND LEVEL (SECOND FLOOR)

FLOOR PLAN (EXISTING)


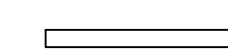
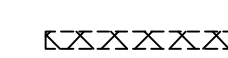
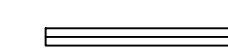
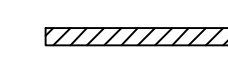
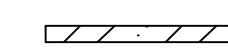
SCALE: 1/4" = 1'-0"

HI CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (925) 289-1888		RESIDENTIAL UNITS ALTERATIONS 2121 ENCINAL AVENUE ALAMEDA, CA 94501		TOTAL SHEETS: 4 SHEET NO.: A-3
DESIGNED BY: HWL	CHECKED BY: HWL	DATE:	DATE: 10/15/2024	SCALE: AS NOTED
PROJECT NUMBER:		FILE NO.: 2024-815		
REV.	DATE	DESCRIPTION	BY	
3/20/26		Added Window		



*Henry Wan Leung*

**LEGEND:**

-  (N) WALL
  -  (E) WALL
  -  (E) TO BE REMOVED
  -  WINDOW
  -  (N) NEW BRACED WALL
  -  (E) EXISTING BRACED WALL
- \*\*\* SAFETY GLAZING

**NOTES:**

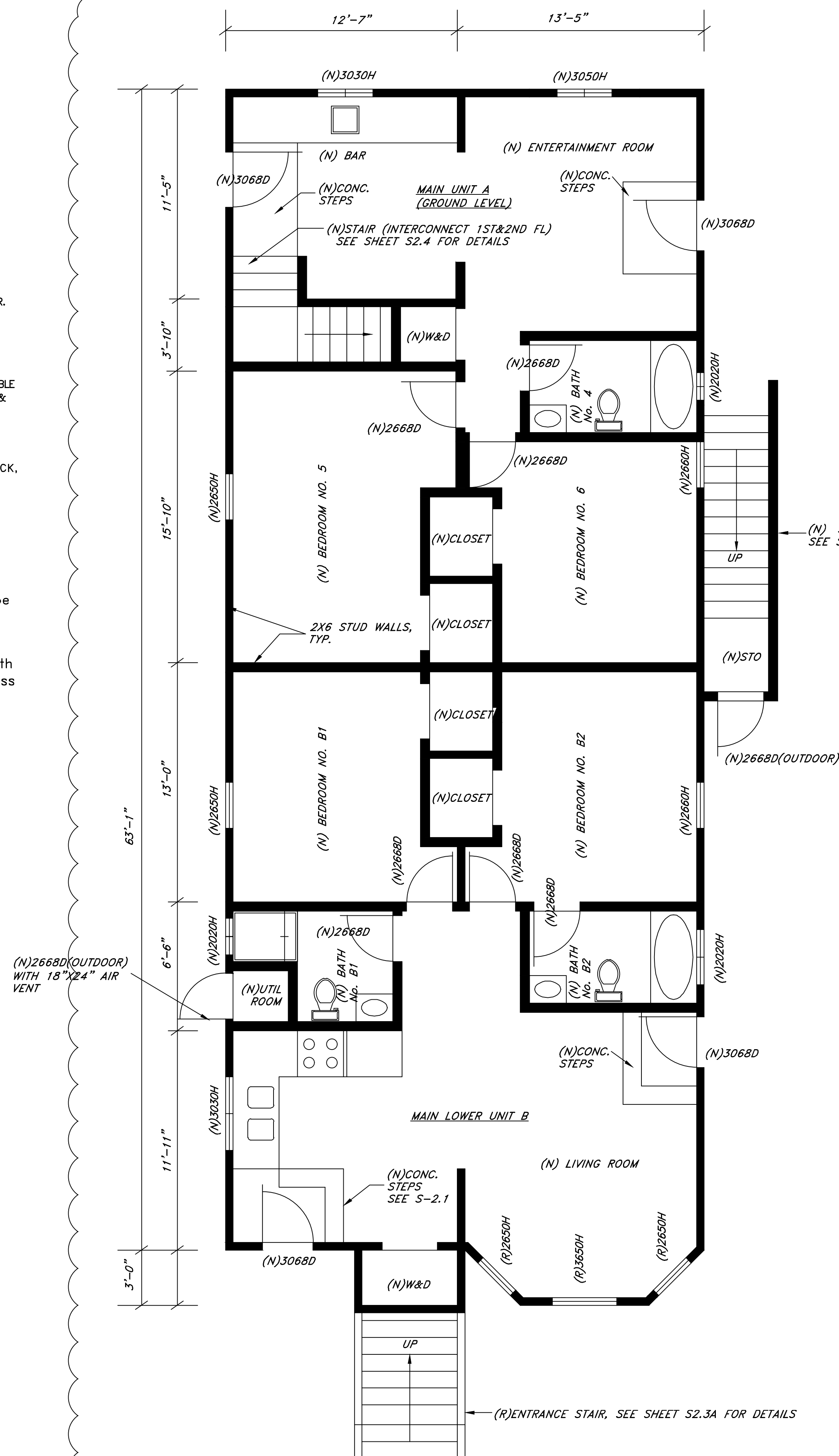
1. SEE SH1 E-1 FOR THE LOCATIONS OF SMOKE DETECTORS, AND CARBON MONOXIDE SENSOR.
2. EGRESS WINDOW TO COMPLY CRC:
  - 5.7 SF OPENABLE AREA
  - 44" MAX. SILL WT.
  - 20" MIN. WIDTH OF CLEAR OPENING
  - 24" MIN. HEIGHT OF CLEAR OPENING
3. BRACING METHOD IS WOOD STRUCTURAL PANEL (WSP), SEE CRC SECTION R602.10 AND TABLE R602.10.4 FOR MORE DETAILS. SEE SHEET C-1, FASTENING SCHEDULE FOR CONNECTIONS & FASTENERS.
4. SHEATHING THICKNESS (WALL= $\frac{1}{2}$ " ) OR OTHERWISE NOTED.
5. NAILING (WALL) - 8d NAILS @ 6" OC MAX. AT ENDS & EDGES AND @12" OC MAX. ALONG ALL INTERMEDIATE STUDS.
6. ALL GYPSUM BOARDS (GB) USED FOR WALLS AND CEILINGS SHOULD BE  $\frac{5}{8}$ " THICK, TYPE X.

**GENERAL NOTES:**

1. All exterior windows, glazing in doors shall be comply and be constructed of multiplane glazing with a minimum of one-tempered pane of glass meeting the requirements of Section R308 Safety Glazing.
2. All exterior doors shall be constructed of solid core wood with 1'-3/8" thick and shall have fire-resistance rating of not less than 20 min.

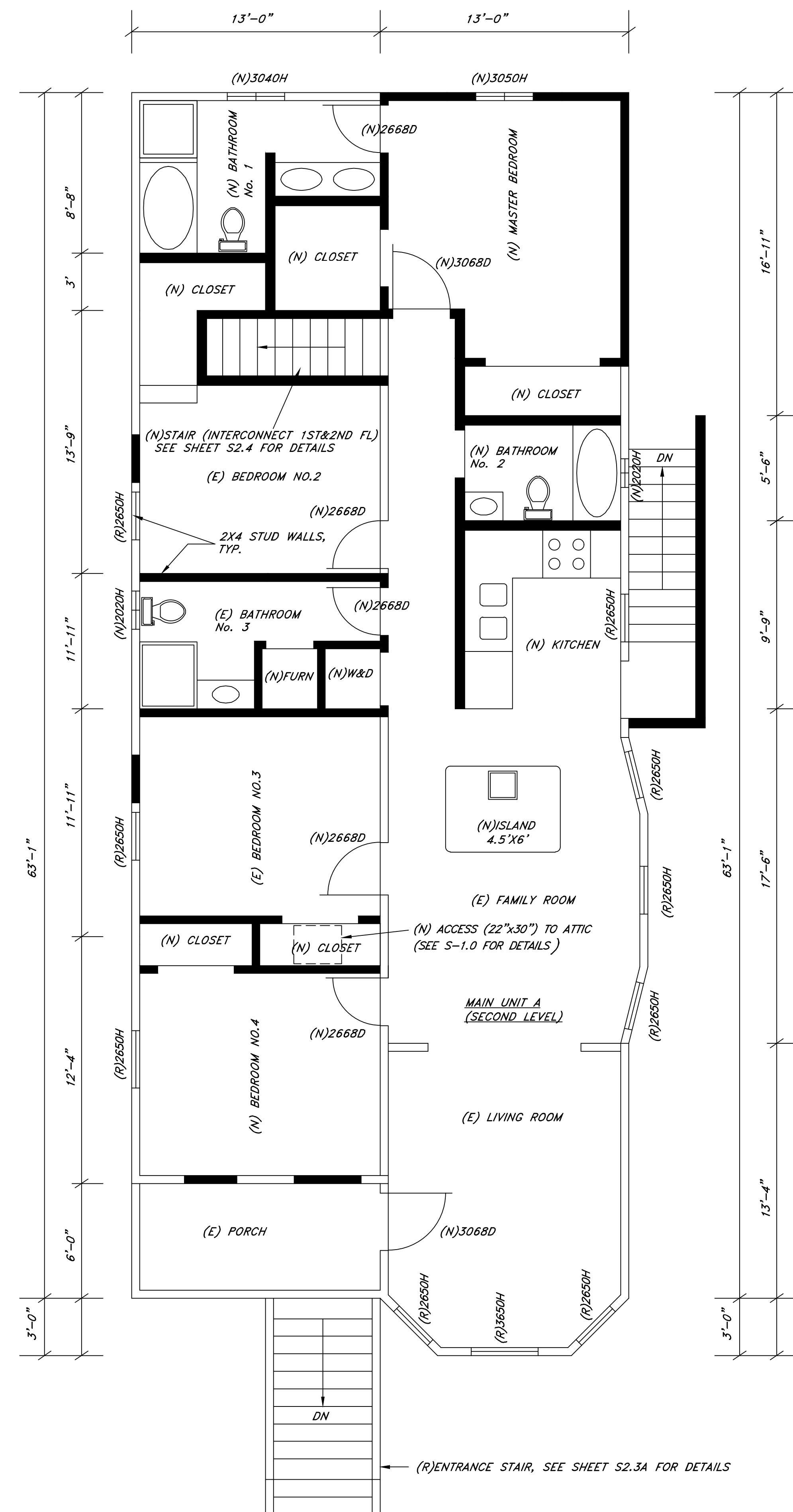
**CEILING HEIGHT**

- MAIN UNITS  
 -GROUND FLOOR =7'-9"  
 -SECOND FLOOR =9'-3"



**GROUND LEVEL (FIRST FLOOR)**

**FLOOR PLAN**  
 SCALE:  $\frac{1}{4}$ "=1'-0"



**SECOND LEVEL (SECOND FLOOR)**

FLOOR PLAN (MAIN HOUSE) <b>RESIDENTIAL UNITS ALTERATIONS</b> 2121 ENCINAL AVENUE ALAMEDA, CA 94501	
HI CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (916) 289-1888 DESIGNED BY: HWL CHECKED BY: HWL DATE:	PROJECT NUMBER: DATE: 10/15/2024 SCALE: AS NOTED FILE NO.: 2024-815 SHEET NO.: A-4
TOTAL SHEETS: 10 SHEET NO.: A-4	



**WINDOW SCHEDULE**

Site Address: 2121 Encinal Avenue, Alameda, CA  
 Year Built: 1910

Is the property on the City Study List or a City Monument: NO.  
 Architectural Style of the Building: Colonial Revival

#	ROOM	EXISTING WINDOW TYPE	NEW WINDOW TYPE	EXISTING WINDOW MATERIAL	NEW WINDOW MATERIAL	EXISTING SIZE	NEW SIZE	MUNTINS/GRID
<b>UNIT "A"</b>								
1	Master Bedroom	Double-hung	Double-hung	Wood	Wood	(2)32"x60"	36"x60"	
2	Bathroom No. 1	Double-hung	Double-hung	Wood	Wood	32"x48"	36"x48"	
3	Bathroom No. 2	Double-hung	Double-hung	Wood	Wood	24"x24"	24"x24"	
4	Bedroom No. 2	Double-hung	Double-hung	Wood	Wood	32"x60"	32"x60"	
5	Bathroom No. 3	Double-hung	Double-hung	Wood	Wood	24"x48"	24"x24"	
6	Kitchen	Double-hung	Double-hung	Wood	Wood	32"x60"	32"x60"	
7	Family Room	Double-hung	Double-hung	Wood	Wood	(3)32"x60"	(3)32"x60"	
8	Bedroom No. 3	Double-hung	Double-hung	Wood	Wood	(2)32"x60"	32"x60"	
9	Bedroom No. 4	Double-hung	Double-hung	Wood	Wood	36"x48"	32"x60"	
10	Living Room	Double-hung	Double-hung	Wood	Wood	(2)32"x60"	(2)32"x60"	
11	Living Room	Double-hung	Double-hung	Wood	Wood	36"x60"	36"x60"	
12	Bar	Double-hung	Double-hung	Wood	Wood	21"x48"	36"x36"	
13	Entertainment Room	Double-hung	Double-hung	Wood	Wood	18"x36"	36"x60"	
14	Bathroom No. 4	Double-hung	Double-hung	Wood	Wood	18"x18"	24"x24"	
15	Bedroom No. 5	Double-hung	Double-hung	Wood	Wood	(2)21"x48"	32"x60"	
16	Bedroom No. 6	Double-hung	Double-hung	Wood	Wood	27"x48"	32"x60"	
<b>UNIT "B"</b>								
17	Bedroom No. B1	Double-hung	Double-hung	Wood	Wood	32"x36"	32"x60"	
18	Bedroom No. B2	Double-hung	Double-hung	Wood	Wood	27"x36"	32"x60"	
19	Bathroom No. B1	Double-hung	Double-hung	Wood	Wood	24"x48"	24"x24"	
20	Bathroom No. B2	Double-hung	Double-hung	Wood	Wood	27"x36"	24"x24"	
21	Kitchen	Double-hung	Double-hung	Wood	Wood	36"x48"	36"x36"	
22	Living Room	Double-hung	Double-hung	Wood	Wood	(2)32"x60"	(2)32"x60"	
23	Living Room	Double-hung	Double-hung	Wood	Wood	36"x60"	36"x60"	

**SPECIAL NOTES:**

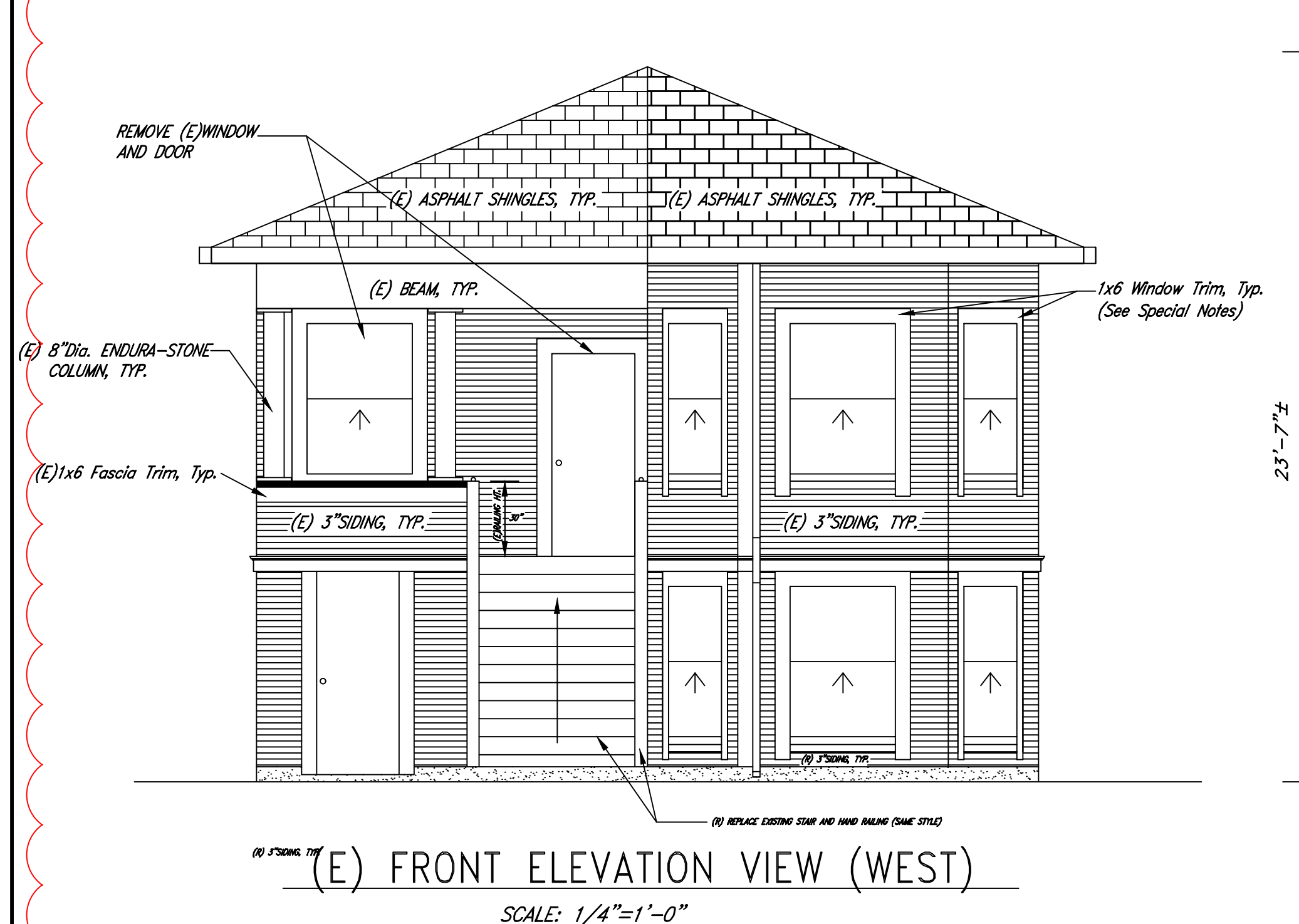
- EXISTING ARCHITECTURAL FEATURES AND FINISHES TO BE REMAIN UNLESS OTHERWISE NOTED.
- ALL NEW WOOD SIDINGS, WINDOWS AND TRIMS SHALL BE MATCHED THE EXISTING AS SHOWN THE PHOTO BELOW.



(E) WOOD SIDINGS, WINDOW AND TRIM STYLES

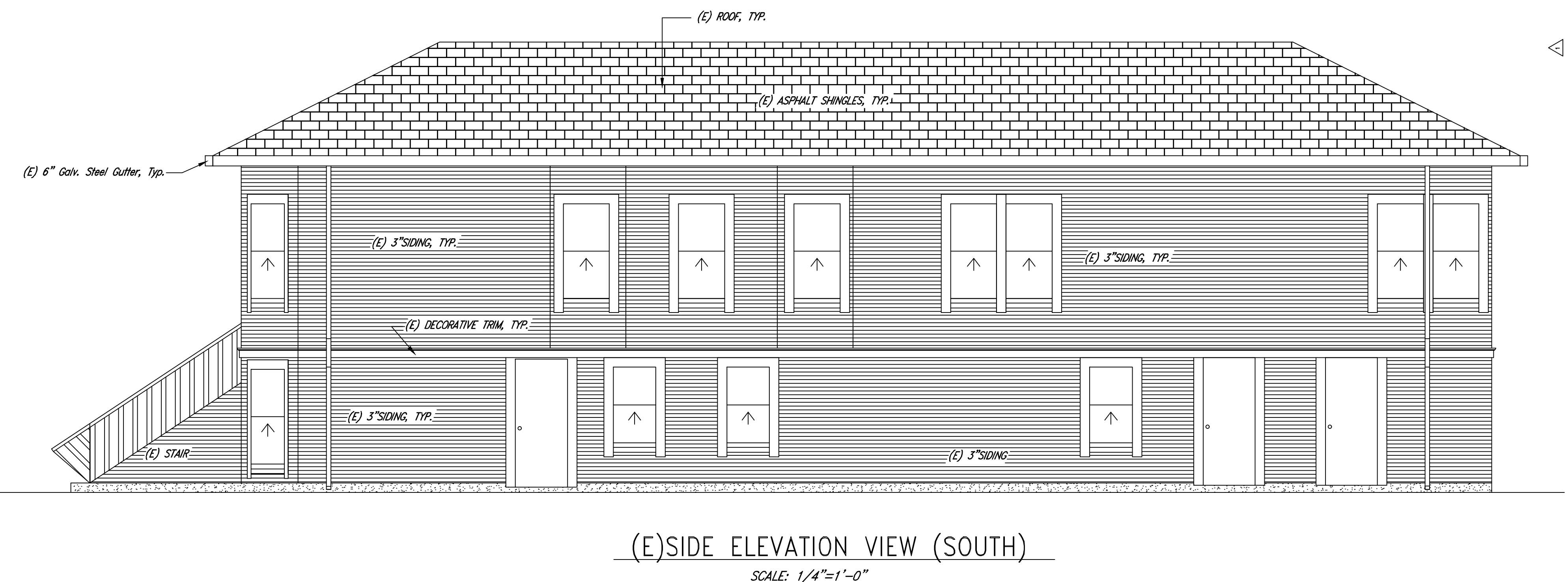
**COLOR CHART**

ROOF (ASPHALT SHINGLES)	DARK GRAY
TRIMS (SIDES, DOORS & WINDOWS)	SIMPLY WHITE
DOORS (ENTRANCE)	CHARCOAL GREY
CLADDING MATERIALS 4" SIDING WALL (BODY, PRIMARY)	LIGHT BLUE



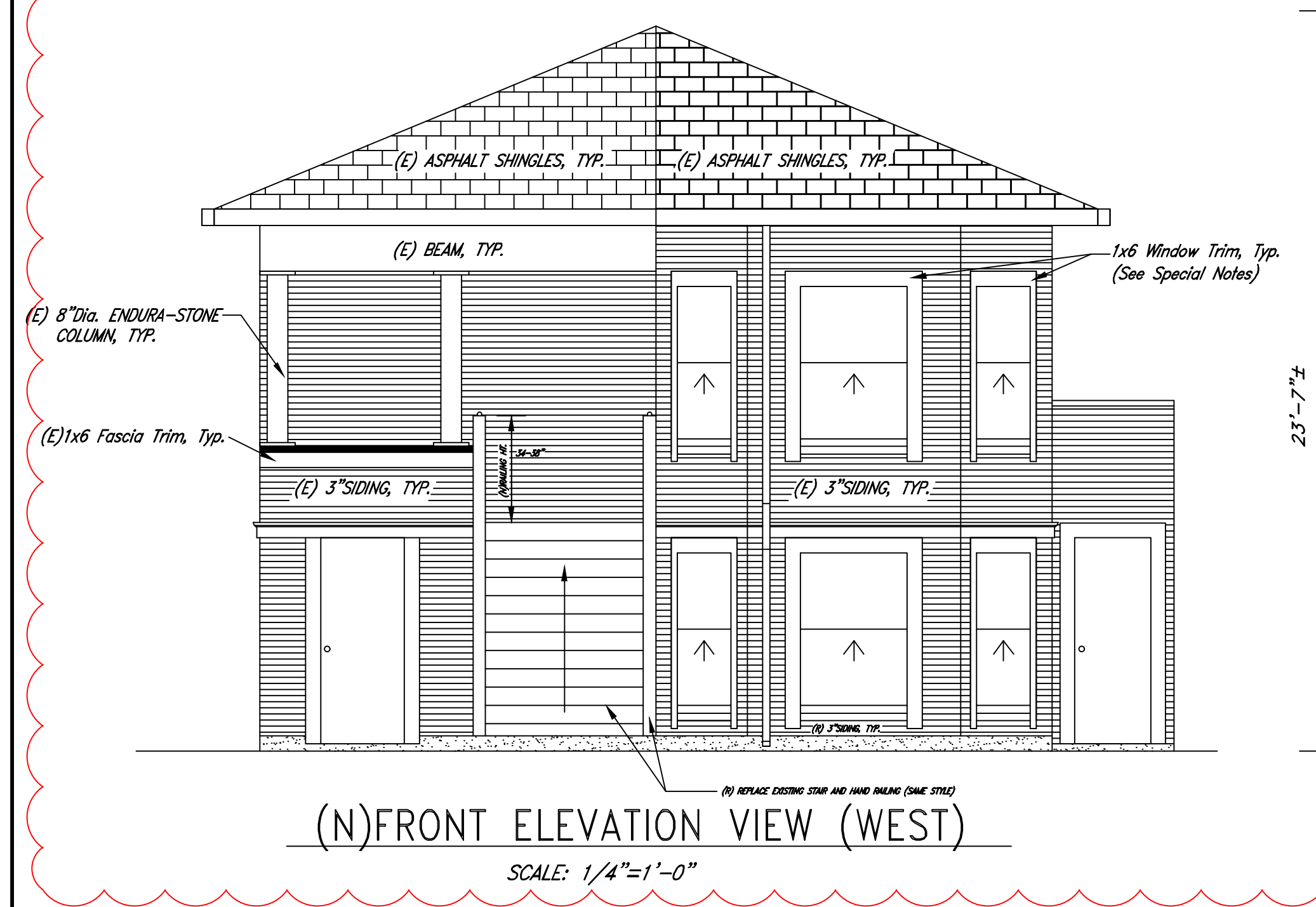
(E) FRONT ELEVATION VIEW (WEST)

SCALE: 1/4"=1'-0"



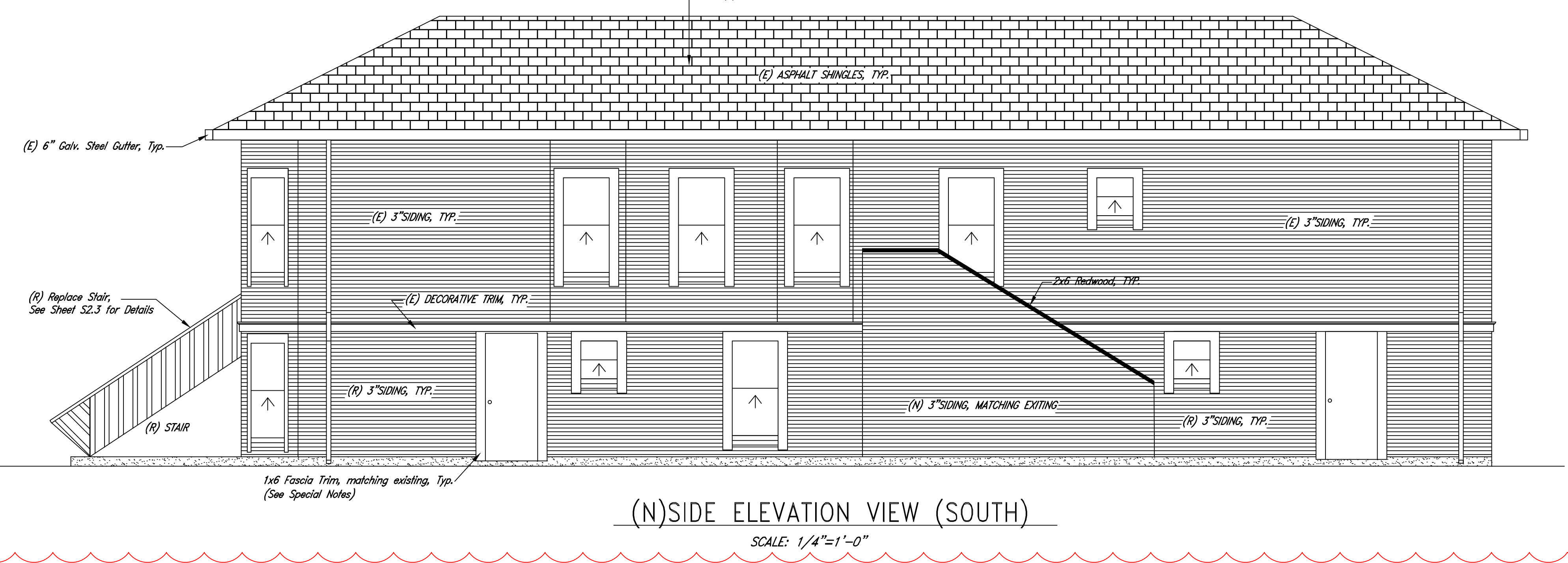
(E) SIDE ELEVATION VIEW (SOUTH)

SCALE: 1/4"=1'-0"



(N) FRONT ELEVATION VIEW (WEST)

SCALE: 1/4"=1'-0"



(N) SIDE ELEVATION VIEW (SOUTH)

SCALE: 1/4"=1'-0"

ELEVATION VIEWS (MAIN HOUSE)

RESIDENTIAL UNITS ALTERATIONS

2121 ENCINAL AVENUE  
 ALAMEDA, CA 94501

HI, CONSULTANTS  
 137 VICTORY CIRCLE  
 SAN FRANCISCO, CA 94102  
 (415) 299-1888

DESIGNED BY: HWL  
 CHECKED BY: HWL  
 DATE: 10/15/2024

PROJECT NUMBER:  
 SCALE: AS NOTED  
 FILE NO.: 2024-815

DATE: 10/15/2024

REV. DATE DESCRIPTION

3/20/26  
 1  
 2

REGISTERED PROFESSIONAL ARCHITECT

HENRY WAN LEUNG

C 54332

EXP. 12/31/2027

Civil  
 STATE OF CALIFORNIA

Henry Wan Leung

**WINDOW SCHEDULE**

Site Address: 2121 Encinal Avenue, Alameda, CA

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Is the property on the City Study List or a City Monument: NO.

Architectural Style of the Building: Colonial Revival

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12	Bar	Double-hung	Double-hung	Wood	Wood	21"x48"	36"x36"	
13	Entertainment Room	Double-hung	Double-hung	Wood	Wood	18"x36"	36"x60"	
14	Bathroom No. 4	Double-hung	Double-hung	Wood	Wood	18"x18"	24"x24"	
15	Bedroom No. 5	Double-hung	Double-hung	Wood	Wood	(2)21"x48"	32"x60"	
16	Bedroom No. 6	Double-hung	Double-hung	Wood	Wood	27"x48"	32"x60"	
<b>UNIT "B"</b>								
17	Bedroom No. B1	Double-hung	Double-hung	Wood	Wood	32"x36"	32"x60"	
18	Bedroom No. B2	Double-hung	Double-hung	Wood	Wood	27"x36"	32"x60"	
19	Bathroom No. B1	Double-hung	Double-hung	Wood	Wood	24"x48"	24"x24"	
20	Bathroom No. B2	Double-hung	Double-hung	Wood	Wood	27"x36"	24"x24"	
21	Kitchen	Double-hung	Double-hung	Wood	Wood	36"x48"	36"x36"	
22	Living Room	Double-hung	Double-hung	Wood	Wood	(2)32"x60"	(2)32"x60"	
23	Living Room	Double-hung	Double-hung	Wood	Wood	36"x60"	36"x60"	

**SPECIAL NOTES:**

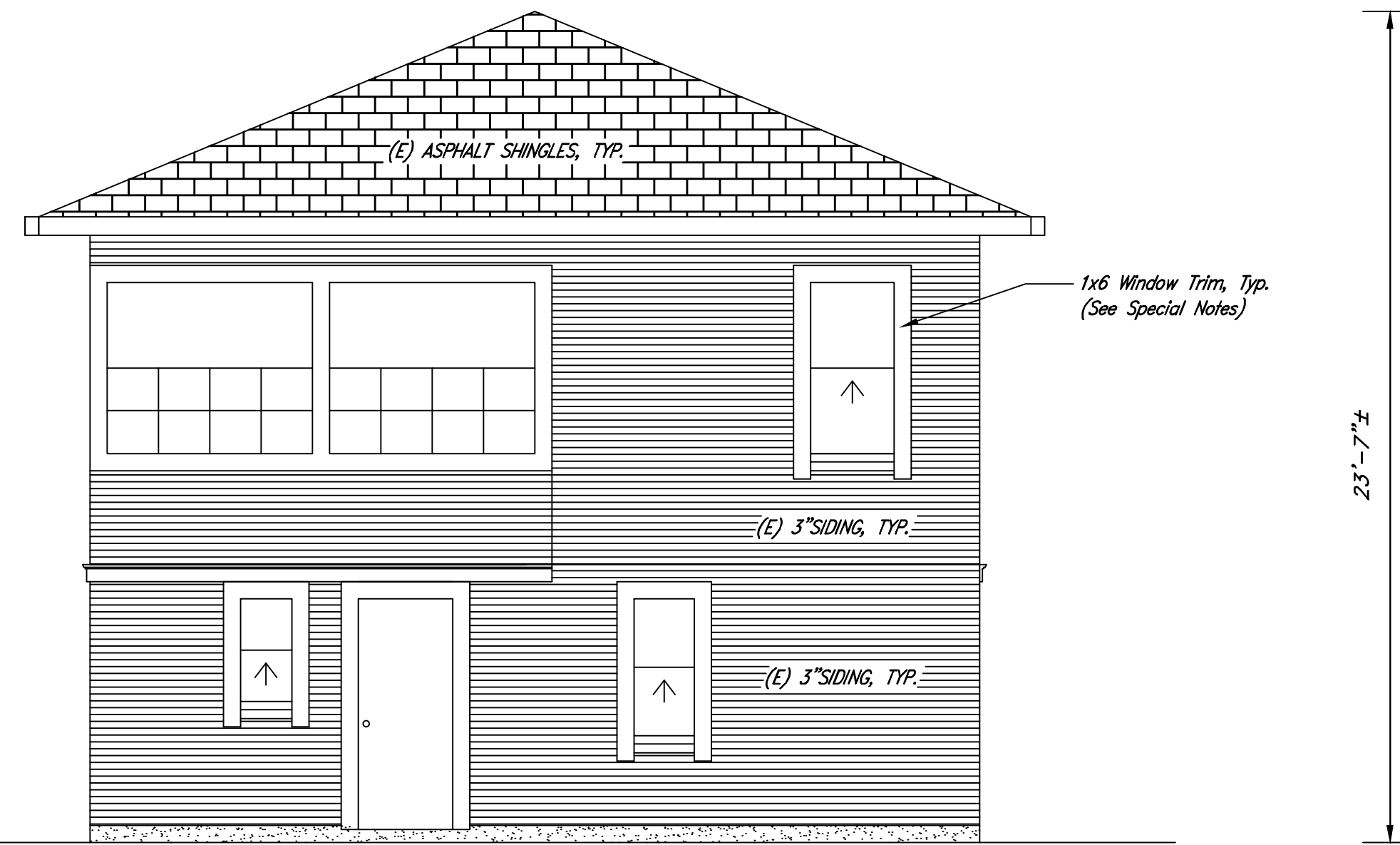
- EXISTING ARCHITECTURAL FEATURES AND FINISHES TO BE REMAIN UNLESS OTHERWISE NOTED.
- ALL NEW WOOD SIDINGS, WINDOWS AND TRIMS SHALL BE MATCHED THE EXISTING AS SHOWN THE PHOTO BELOW.



(E) WOOD SIDINGS, WINDOW AND TRIM STYLES

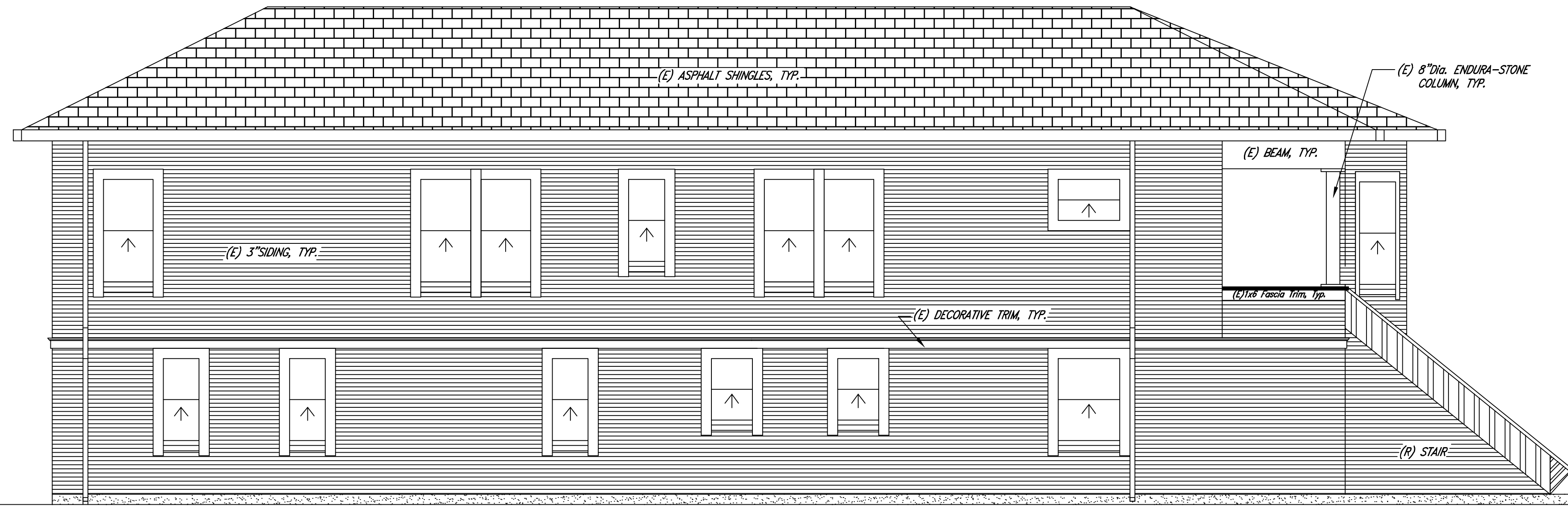
**COLOR CHART**

ROOF (ASPHALT SHINGLES)	DARK GRAY
TRIMS (SIDES, DOORS & WINDOWS)	SIMPLY WHITE
DOORS (ENTRANCE)	CHARCOAL GREY
CLADDING MATERIALS 4" SIDING WALL (BODY, PRIMARY)	LIGHT BLUE



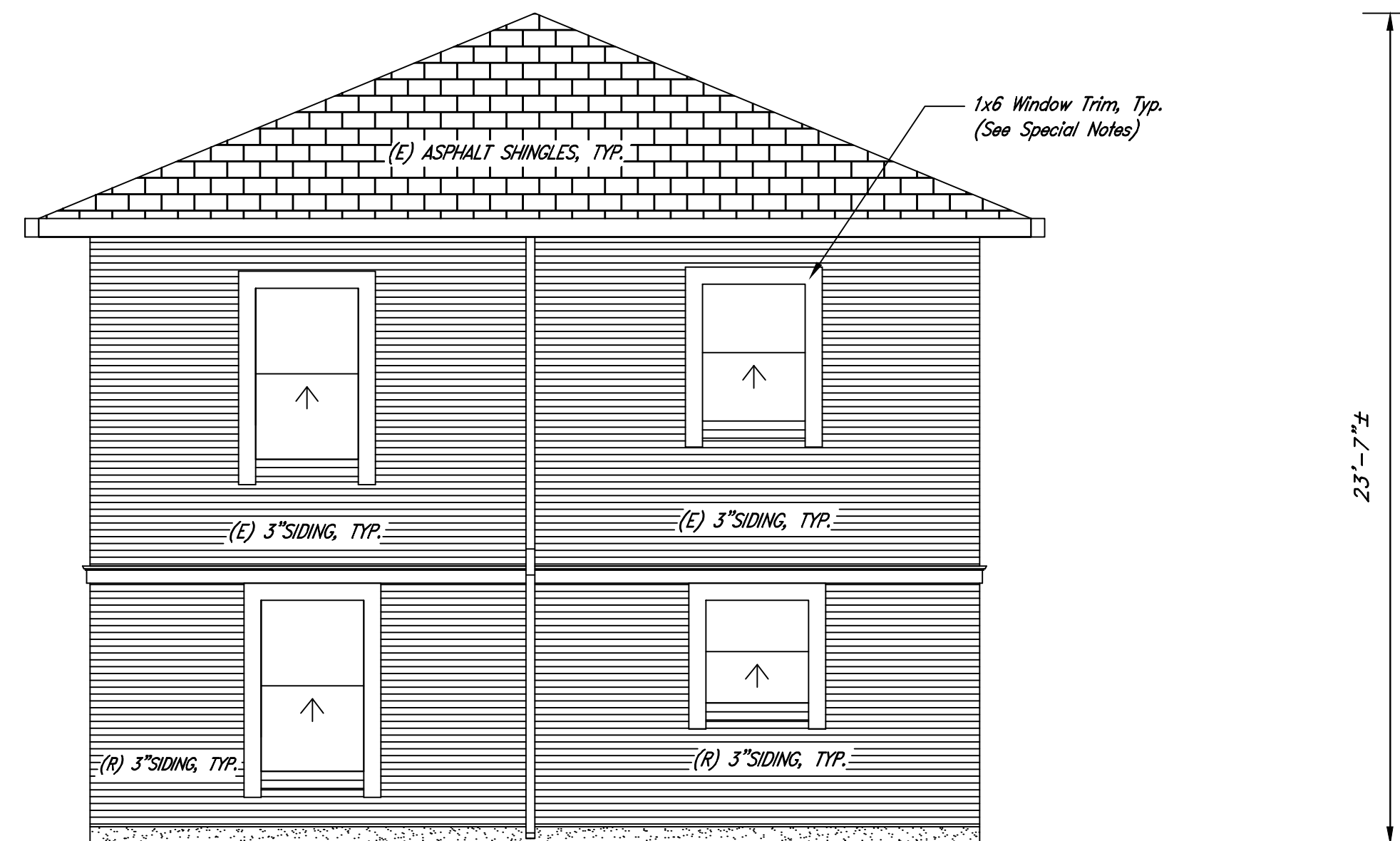
(E) REAR ELEVATION VIEW (EAST)

SCALE: 1/4"=1'-0"



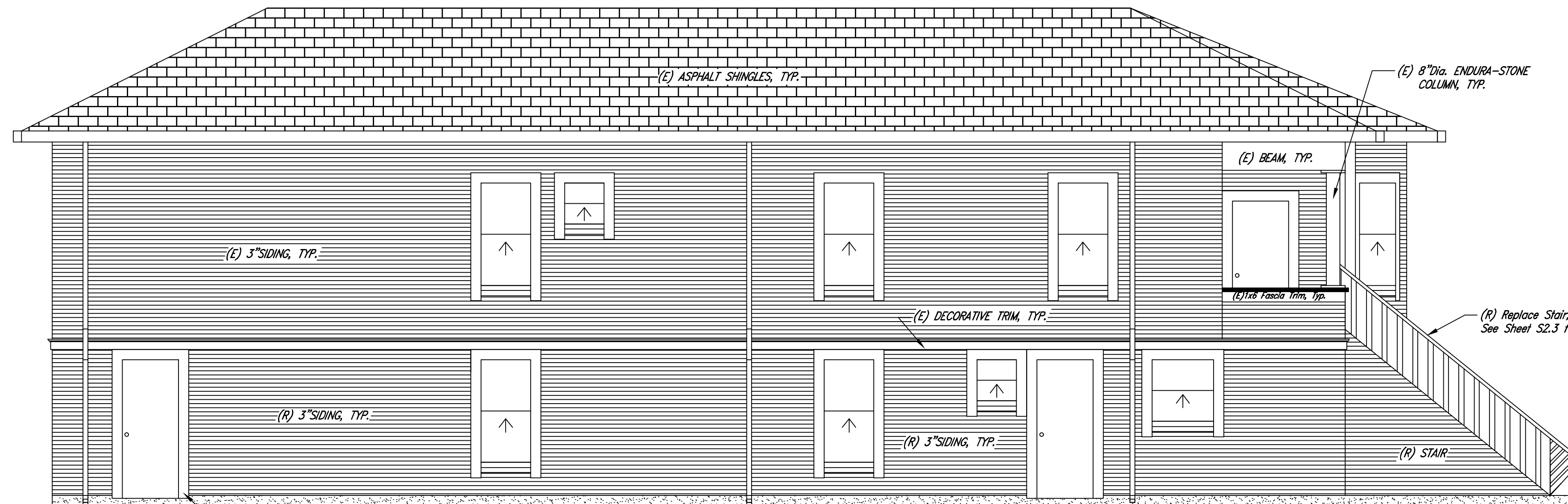
(E) SIDE ELEVATION VIEW (NORTH)

SCALE: 1/4"=1'-0"



(N) REAR ELEVATION VIEW (EAST)

SCALE: 1/4"=1'-0"



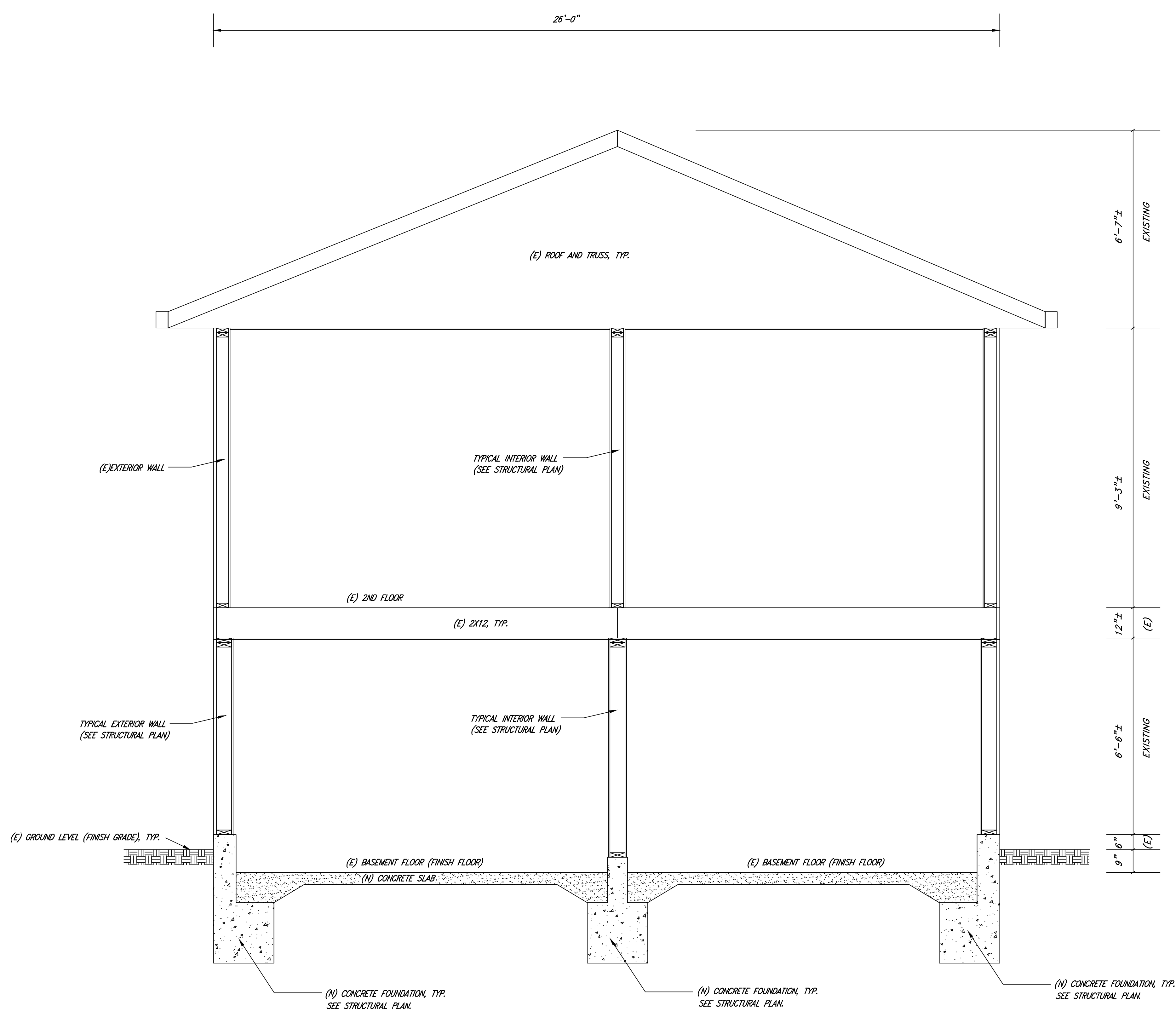
(N) SIDE ELEVATION VIEW (NORTH)

SCALE: 1/4"=1'-0"

ELEVATION VIEWS (MAIN HOUSE)		RESIDENTIAL UNITS ALTERATIONS		TOTAL SHEETS: 4-5	
HI CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 C(925) 289-1888		2121 ENCINAL AVENUE ALAMEDA, CA 94501		TOTAL SHEETS: 4-5	
DESIGNED BY: HWL	CHECKED BY: HWL	DATE: 10/15/2024	SCALE: AS NOTED	FILE NO.: 2024-815	
PROJECT NUMBER:					
REV.	DATE	DESCRIPTION	BY		

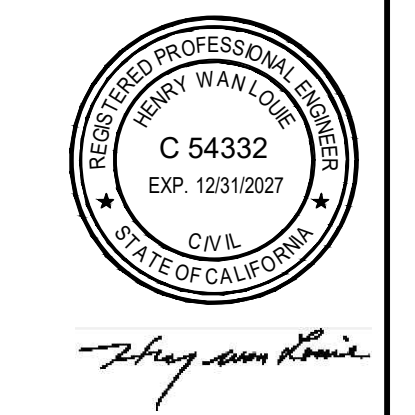


Henry Wan Leung



TYPICAL SECTION  
SCALE: 1/2"=1'-0"

TYPICAL SECTION	
RESIDENTIAL UNITS ALTERATIONS	
2121 ENCINAL AVENUE ALAMEDA, CA 94501	
FILE NO.: 2024-815	SHEET NO. A-5.7
HI, CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 C/O: 289-1888	DATE: 10/15/2024
DESIGNED BY: HWL	CHECKED BY: HWL
PROJECT NUMBER:	DATE:
SCALE: AS NOTED	DATE: 10/15/2024
REV.	DATE
DESCRIPTION	BY



**GENERAL NOTES:**

1. ALL WORK PERFORMED IN THIS PROJECT SHALL COMPLY WITH ALL PERTINENT STATE AND LOCAL CODE REQUIREMENTS, LAWS AND ORDINANCES.
2. ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL REQUIREMENTS UNLESS OTHERWISE NOTED ON THE PLANS OR SPECIFICATIONS.
3. CONTRACTOR SHALL COORDINATE ALL DRAWINGS, VERIFY ALL DIMENSIONS, ELEVATIONS AND CONNECTIONS BEFORE CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ON SITE VERIFICATION OF CONDITIONS.
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS NOT SPECIFIED WHEN REQUIRED BY FIELD CONDITION SHALL BE DETERMINED BY ENGINEER.
6. ENGINEER SHALL BE NOTIFIED FOR ANY FIELD CONDITIONS DIFFERENT FROM THOSE INDICATED ON DRAWING.
7. ENGINEER SHALL BE NOTIFIED FOR ANY QUESTIONS WHICH MAY ARISE PERTAINING TO THE DRAWINGS AND SPECIFICATIONS.
8. GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE RESPONSIBLE FOR ORDER AND MEANS OF THE CONSTRUCTION AND ALL TEMPORARY BRACING AND ERECTION DURING CONSTRUCTION.
9. GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND THE PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREET AND UTILITIES.
10. TYPICAL DETAILS ON THESE SHEETS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE GIVEN.
11. MATERIAL NOTES AND DETAILS ON THE DRAWING SHALL TAKE PRECEDENCE OVER THE STRUCTURAL NOTES CONTAINED HEREIN.
12. ALL DRAWINGS AND SUBSEQUENT REVISIONS IF ANY, SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO STARTING CONSTRUCTION.
13. ALL DRAWINGS AND SUBSEQUENT REVISIONS IF ANY, SHALL BE MADE WITH THE WRITTEN APPROVAL OF ENGINEER.
14. CONTRACTOR SHALL VERIFY ALL HEATING, VENTILATING, PLUMBING AND ELECTRICAL OPENINGS AND NOTIFY THE ENGINEER FOR ANY DEVIATIONS FROM THE DRAWINGS.
15. THE STRUCTURAL DRAWINGS SHOW STRUCTURAL FEATURES ONLY. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER DRAWINGS FOR NON-STRUCTURAL ITEMS.
16. EXCEPT AS NOTED HEREIN, NO STRUCTURAL MEMBERS SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT, OR RELOCATED WITHOUT PRIOR APPROVAL BY THE ENGINEER.
17. THE STRUCTURAL DRAWINGS FOR THIS PROJECT DESCRIBE THE BUILDING STRUCTURE ONLY, AND ARE NOT INTENDED TO SHOW NON-STRUCTURAL ITEMS. COORDINATION FOR AND INSTALLATION OF MECHANICAL, ELECTRICAL, ARCHITECTURAL AND MISCELLANEOUS NON-STRUCTURAL ITEMS SHOWN ELSEWHERE, IN THE PROJECT PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
18. SUBCONTRACTORS FOR STRUCTURAL PORTIONS OF THE BUILDING, INCLUDING BUT NOT LIMITED TO FOUNDATIONS AND STRUCTURAL FRAME, ARE ADVISED TO REVIEW ALL DIVISIONS OF THE PLANS AND SPECIFICATIONS FOR NOT-STRUCTURAL ITEM WHICH MAY BE EMBEDDED IN, ATTACHED TO OR OTHERWISE CONNECTED TO THE STRUCTURAL ELEMENTS OF THE BUILDING BEFORE SUBMITTING THEIR BIDS.
19. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
20. MATERIAL NOTES AND SPECIFICATIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROJECT SPECIFICATIONS.

**LUMBER NOTES:**

1. ALL LUMBER SHALL BE AT A MOISTURE CONTENT OF 19% OR LESS BEFORE BEING COVERED WITH INSULATION, INTERIOR WALL FINISH FLOOR COVERING OR OTHER MATERIAL.
2. SILL PLATES, WOOD AGAINST CONCRETE AND OTHER MEMBERS LOCATED WITHIN 8 INCHES OF FINISH GRADE SHALL BE PRESSURE TREATED DOUGLAS FIR LARCH.
3. 2X4 STUDS SHALL BE DOUGLAS FIR LARCH STANDARD GRADE OR BETTER.
4. 2X6 STUDS SHALL BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
5. TOP AND SOLE PLATES SHALL BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
6. 3X OR 4X POSTS SHALL BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
7. 2X OR 4X JOISTS AND BEAMS SHALL BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
8. 6X OR 8X FRAMING MEMBERS SHALL BE DOUGLAS FIR LARCH NO. 2 OR BETTER.
9. SIMPLY SUPPORTED GULLED-LAM BEAMS SHALL BE 24F-V4 DFL/DPL PER CBC.
10. GULLED-LAM BEAMS CANTILEVERED AT ENDS OR CONTINUOUSLY ACROSS SUPPORTS SHALL BE 24F-V8 DFL/DPL PER CBC.
11. GULLED-LAM BEAMS SHALL BEAR ATIC CERTIFICATES AND SUBMITTED TO THE BUILDING OFFICIAL.
12. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION.
13. PSL SHALL BE 2.2E, 1X1 SHALL BE 1.9E AND 1X1 (BEAM) SHALL BE 1.5E.

**FRAMING NOTES:**

1. CONTRACTOR SHALL REVIEW ALL TYPICAL FRAMING DETAILS (EXAMPLE TOP PLATE SPLICE, WALL, CORNER CONNECTIONS, SHEAR PANEL, NAILING, DDF ETC.), SILL NAILING AND BLOCK NAILING REQUIREMENTS PER FOOTNOTES IN SHEAR WALL SCHEDULE PRIOR TO STARTING ANY FRAMING WORKS.
2. BEAM-TO-POST(S) ISOLATED CONNECTIONS SHALL BE PROPERLY ALIGNED AND CONNECTED WITH EC BRACKETS ULOAN.
3. WHERE PARTITION WALLS PARALLEL TO THE FRAMING BELOW, DOUBLE JOISTS SHALL BE PROVIDED BELOW THE WALL WHERE PERPENDICULAR 2X BLOCKINGS SHALL BE PROVIDED BETWEEN EACH JOIST.
4. 2X BLOCKINGS SHALL BE PROVIDED BETWEEN THE FLOOR JOISTS AT THE ENDS AND AT EACH SUPPORT OF THE FLOOR JOISTS, SUCH AS BEARING WALL, STRUCTURAL BEAM, ETC. BLOCKINGS MAY OMITTED ONLY AS SPECIFIED ON THE PLAN, OR AT THE ENDS OF THE FLOOR JOISTS WHERE THEY ARE NAILED TO A HEADER, BEAM, OR RM JOIST.
5. BOTTOM OF POSTS SHALL HAVE FULL BEARING IN A TIGHT-FIT CONDITION WITH THE SUPPORTING STRUCTURAL MEMBER BELOW.
6. WHERE POSTS TERMINATED ON THE FLOOR WITH STUD WALLS OR BEAMS BELOW, THE SPACE BETWEEN THE BOTTOM OF THE POST AND THE TOP OF THE PLATE OR THE BEAM SHALL BE SOLIDLY FILLED WITH 2X BLOCKINGS AND THE SUB WALL BELOW SHALL HAVE MATCHING POST AT SAME LOCATION.
7. ULOAN BOTTOM OF ISOLATED POSTS WHEN TERMINATED ON FLOOR SHALL BE FIXED TO THE FLOOR DIAPHRAGM BY 2-435 FRAMING ANCHORS.
8. ULOAN ALL HEADERS SHALL BE 4X12 OF NO. 1 GRADE.

**SHEATHING NOTES:**

1. ANY PLYWOOD SHEATHING PANELS USED ON ROOF, FLOOR AND SHEAR WALLS SHALL NOT BE LESS THAN 4 FEET BY 8 FEET, EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM SHEET DIMENSION SHALL BE 24 INCHES UNLESS ALL EDGES OF THE UNDERSIZED SHEETS ARE SUPPORTED BY FRAMING MEMBER OR BLOCKING.
2. ROOF PLYWOOD SHALL BE 3/4" CDX (OSB) APA 24/0, FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS BELOW, STAGGER ADJACENT PLYWOOD PANEL EDGES AND AT 12" O.C. ALL INTERMEDIATE SUPPORTS.
3. FLOOR PLYWOOD SHALL BE 3/4" CDX (OSB) APA 48/24 TONGUE AND GROOVE, FACE GRAIN PERPENDICULAR TO FRAMING MEMBER BELOW STAGGER AND ADJACENT PANELS BY 4 FEET, NAILED WITH 100 COMMON NAILS AT 6" O.C. ALL PLYWOOD PANEL EDGE AND AT 10" O.C. ALL INTERMEDIATE SUPPORTS, (FLOOR TRUSS SPACED @19.2" O.C.) (USE RING SHANK NAIL AND GLUE)
4. FLOOR PLYWOOD SHALL BE 3/4" TONGUE GROOVE AT FLOOR WHEN JOISTS ARE 16" O.C. OR LESS AND 1/2" TONGUE AND GROOVE AT FLOOR WHEN TRUSSES AND GREATER THAN 16" O.C.
5. ALL FLOOR PLYWOOD SHALL BE GULLED TO THE JOISTS, THE FIELD-GULLED FLOOR SYSTEM SHALL BE INSTALLED ACCORDING TO THE RECOMMENDATION OF THE APA. GLUE SHALL BE APPLIED TO JOISTS AND TO THE GROOVE IN THE EDGE OF THE TAG PANEL GULLED SHALL MEET THE REQUIREMENTS OF THE APA ADHESIVE SPECIFICATION AFG-DL AND SHALL BE APPLIED AS DIRECTED BY THE GLUE MANUFACTURER. GLUE MAY BE APPLIED MANUALLY OR WITH PNEUMATIC OR ELECTRIC.
6. SHEAR WALL CDX(OSB) SHALL BE PLACED ON THE DESIGNATED SIDE OF STUDS AS SHOWN ON PLANS. THE CDX MAY BE PLACED ON THE OPPOSITE SIDE PROVIDED:
  - (1) THERE ARE NO PERPENDICULAR WALLS INTERSECTION FULL LENGTH OF SHEAR WALL.
  - (2) SHEAR WALL CDX (OSB) IS CONTINUOUSLY PLACED ACROSS PERPENDICULAR WALL FRAMING, OR
  - (3) SHEAR WALL CORNER DETAIL ON SHEET S-4 IS PROPERLY FOLLOWED.
7. WHEN GYPSUM WALLBOARD IS CALLED FOR SHEAR WALL SHEATHING, THE CONTRACTOR SHALL USE COOLER NAILS AND IS NOT TO CRUSH THE GYPSUM MATERIAL BY OVER-DRIVING THE NAILS.
8. ALL CALIFORNIA ROOF FRAMING SHALL HAVE ROOF CDX(OSB) AT BOTH UPPER AND LOWER ROOFS.
9. ALL ROOF AND FLOOR BEAMS AND COLLECTORS SHALL RECEIVE CDX(OSB) EDGE NAILING ALONG ITS FULL LENGTH.

NAILING SCHEDULES, SEE SHEET C-1, FASTENING SCHEDULES FOR MOR DETAILS

**FOUNDATION NOTES:**

1. FOUNDATION DESIGN IS IN ACCORDANCE WITH CBC 2022, SHALL BE REFERENCE FOR THIS PROJECT.
2. FOUNDATION PLANS AND PERTINENT DETAILS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO ANY FOUNDATION.
3. FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION AND A MINIMUM 8" BELOW FROM SILL PLATE.
4. SITE DRAINAGE REQUIREMENTS INCLUDING FINAL PAD GRADERS, ROOF DRAINAGE DOWNSPOUTS SHALL BE REFERRED TO GRADING, PLOT PLANS AND/OR SITE PLANS.
5. OWNER OF ADJACENT PROPERTY SHALL BE NOTIFIED IN WRITING IN NO LESS THAN 10 DAYS BEFORE THE FOUNDATION EXCAVATION ALONG THE PROPERTY LINE.

**CONCRETE NOTES:**

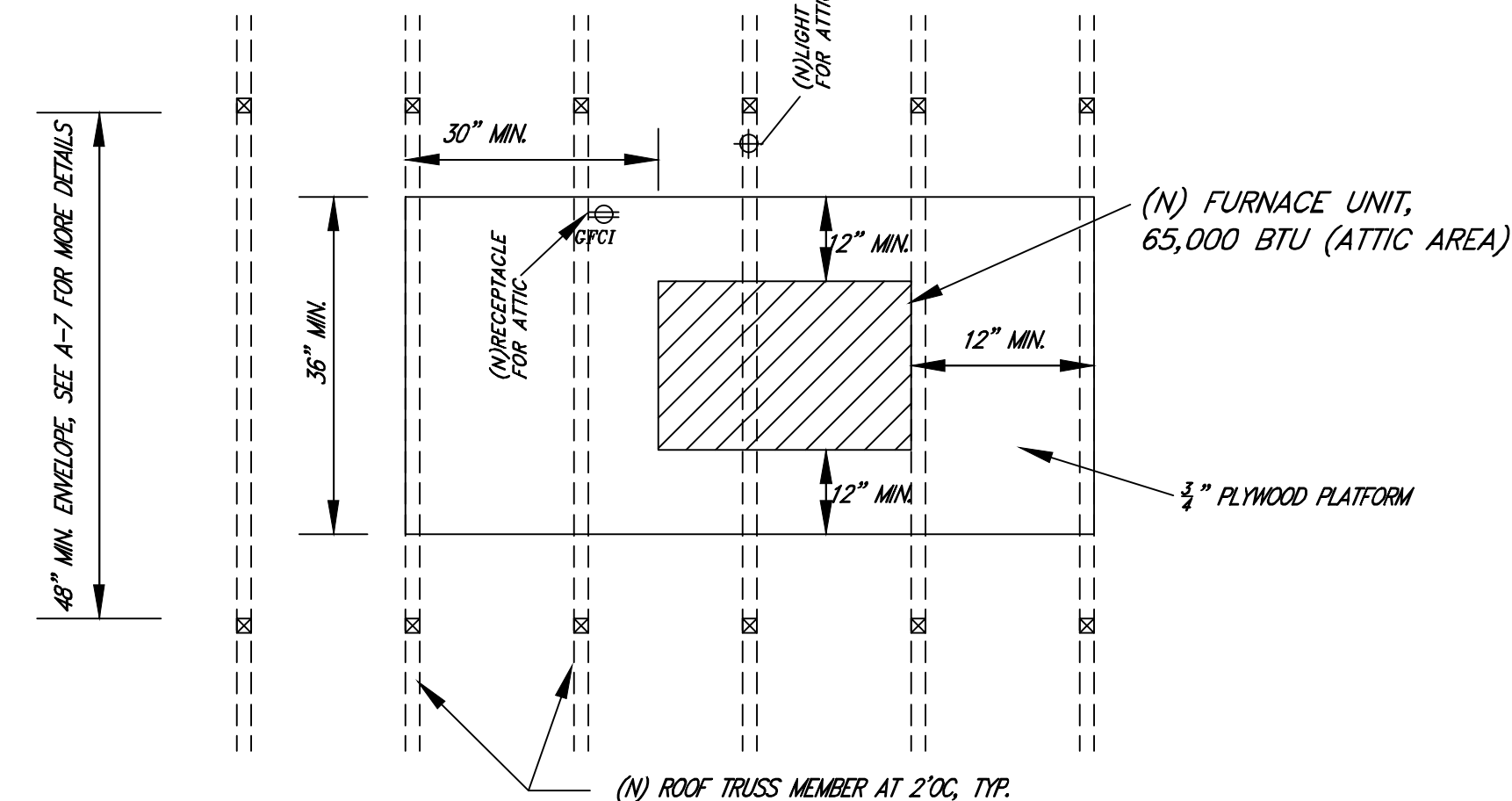
1. FOUNDATION CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAY.
2. RE-BARS, DOMELS AND OTHER EMBEDDED ELEMENTS SHALL BE SECURED IN PLACE (AND APPROVED BY THE BUILDING OFFICIAL) BEFORE POURING CONCRETE.
3. COLD JOINTS MAY BE USED WHERE SHOWN. JOINTING SURFACE SHALL BE CLEAN, FREE OF FOREIGN MATERIAL AND INTENTIONALLY ROUGHED.
4. SPECIAL INSPECTIONS REQUIRED WHERE CONCRETE STRENGTH GREATER THAN 2500 PSI IS SPECIFIED.

**SPECIAL NOTES:**

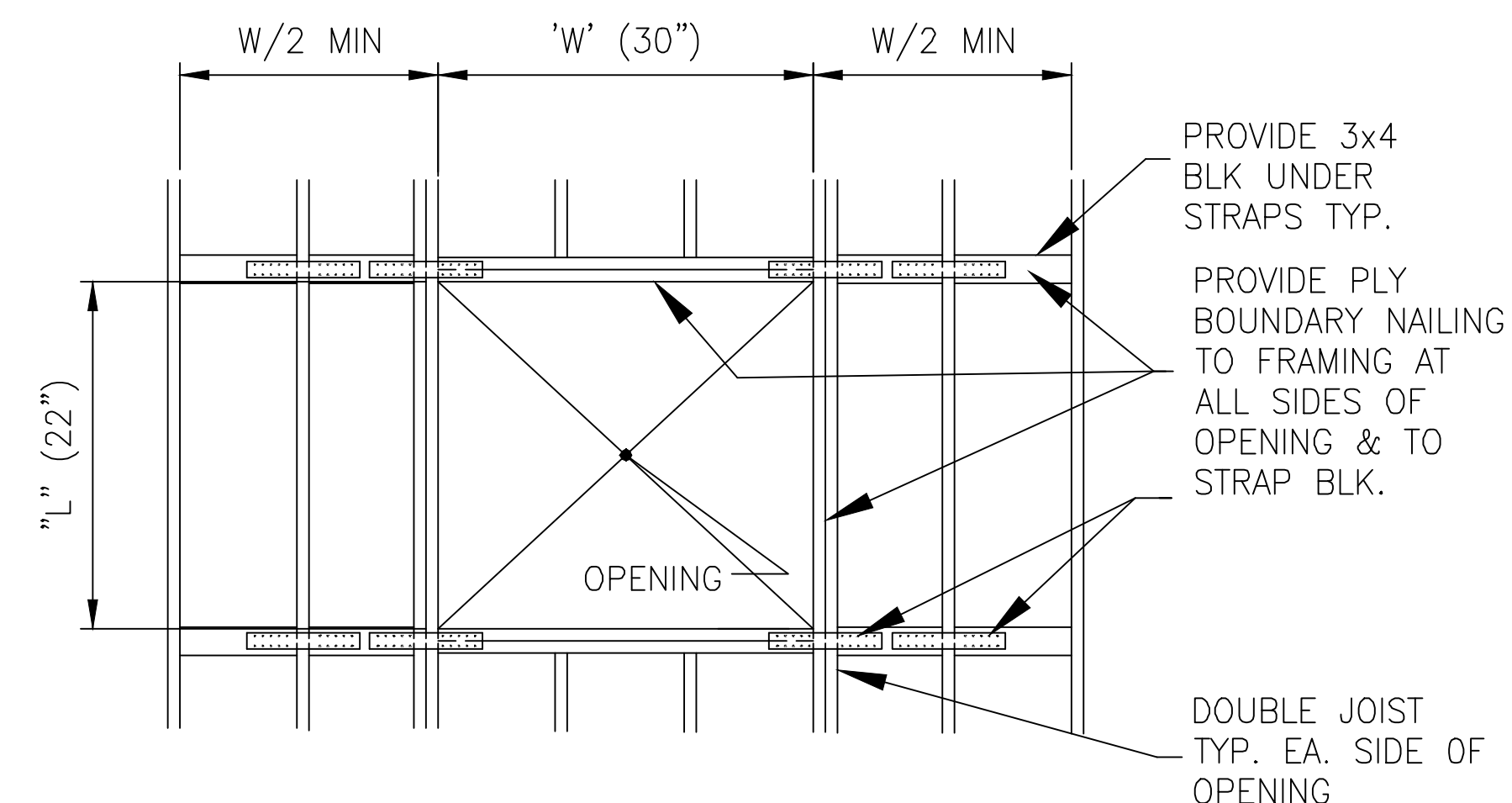
CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY REQUIRED SHORING, BRACING AND UNDERPINNING OF THE EXISTING STRUCTURES.

**REINFORCEMENT NOTES:**

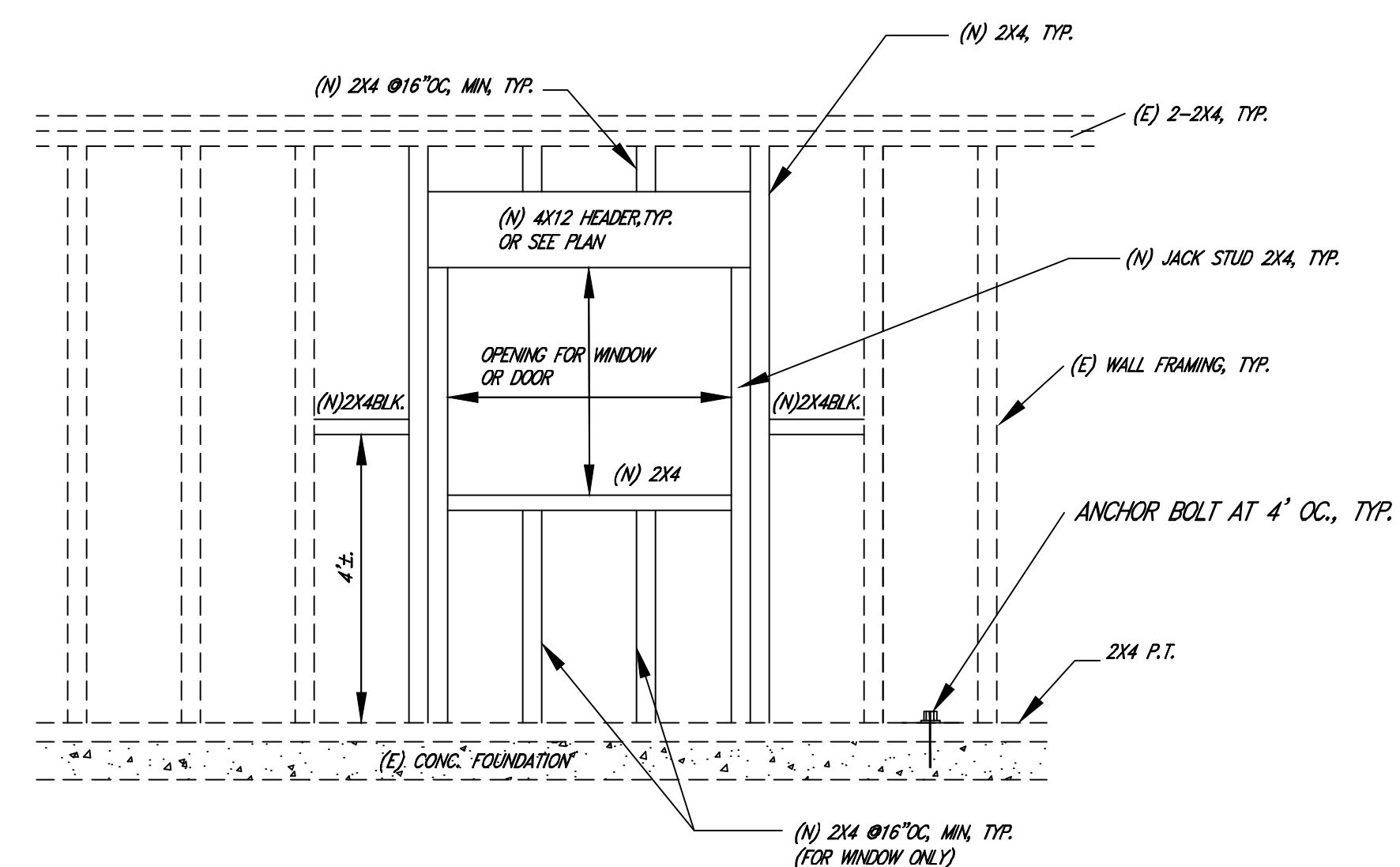
1. REINFORCEMENT STEEL SHALL BE DEFORMED BARS OF BULLET OR AXLE STEEL BAR ASTM A615 GRADE 40 FOR NO. 4 OR LESS, GRADE 60 FOR NO. 5 & LARGER.
2. REINFORCEMENT SHALL BE CLEAN AND FREE OF EXTRANEIOUS MATERIAL.
3. ALL REINFORCEMENT SHALL BE PLACED AND SUPPORTED IN A TRUE LINE AS SHOWN.
4. 3" CLEARANCE SHALL BE PROVIDED WHERE CONCRETE IS CASTED AGAINST EARTH, 2" CLEARANCE FOR CONCRETE EXPOSED TO EARTH OR WEATHER BUT DEPOSITED AGAINST FORM, AND 1/2" CLEARANCE FOR SLABS AND WALL WHERE CONCRETE IS NOT EXPOSED TO EARTH OR WEATHER.
5. LAP ALL REINFORCING SPLICES A MINIMUM 30 BAR DIAMETERS BUT IN NO CASE LESS THAN 24".
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
7. CONTRACTOR SHALL INFORM ENGINEER 48 HOURS PRIOR TO POURING STRUCTURAL CONCRETE FOR REVIEWING THE WORK.



**WORKING PLATFORM DETAIL**  
SCALE: 1/2"=1'-0"



**TYPICAL OPENING DETAILS**



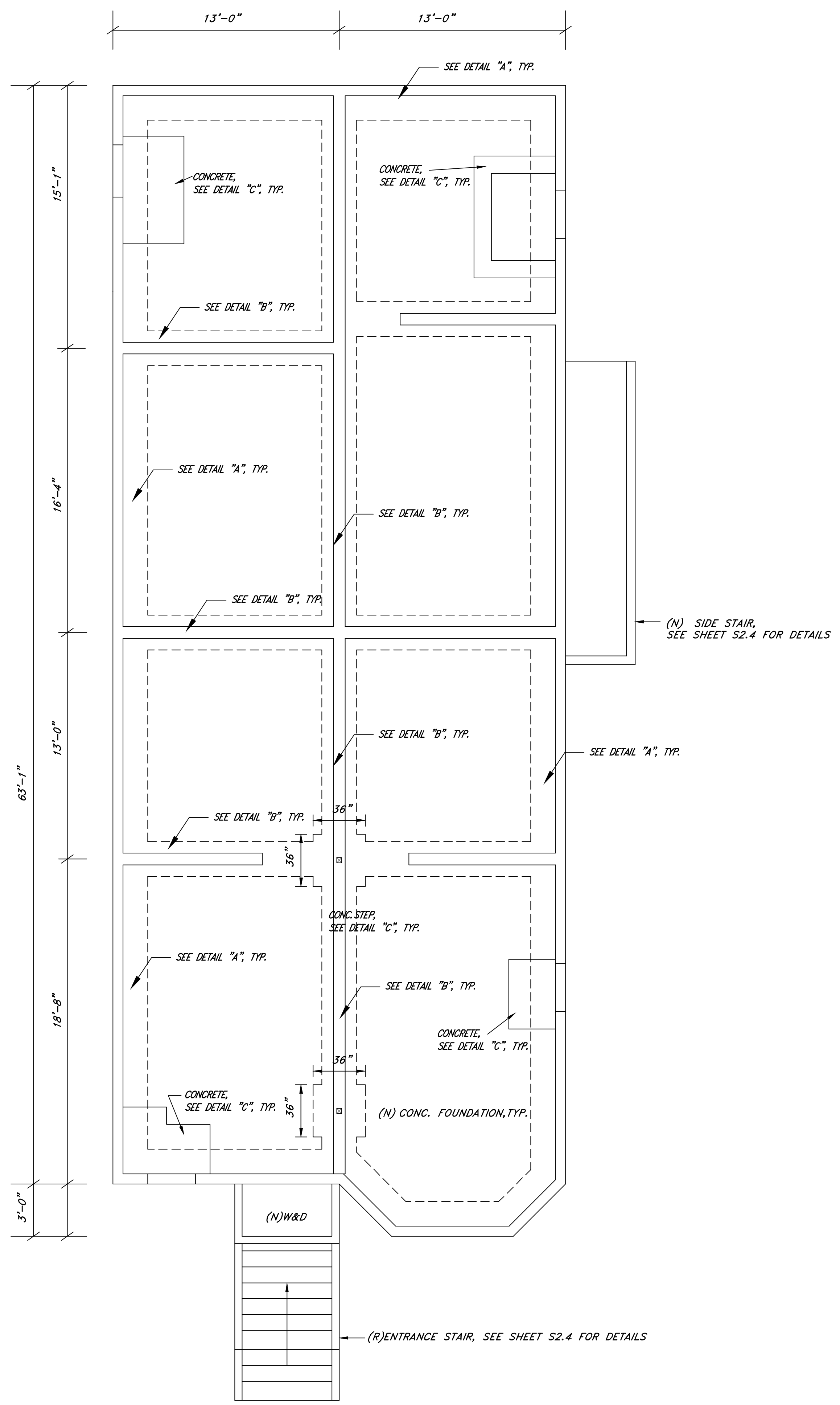
**TYPICAL OPENING FOR WINDOW AND DOOR DETAIL**  
SCALE: NTS

STRUCTURAL NOTES AND DETAILS		RESIDENTIAL UNITS ALTERATIONS		TOTAL SHEETS: 5-1.0	
HI CONSULTANTS 137 VICTORY CIRCLE SAN FRANCISCO, CA 94102 (415) 289-1888		2121 ENCINAL AVENUE ALAMEDA, CA 94501		SCALE: AS NOTED	
DESIGNED BY: HWL	CHECKED BY: HWL	DATE: 12/14/2024	PROJECT NUMBER:	FILE NO.: 2024-815	
REV.	DATE	DESCRIPTION			

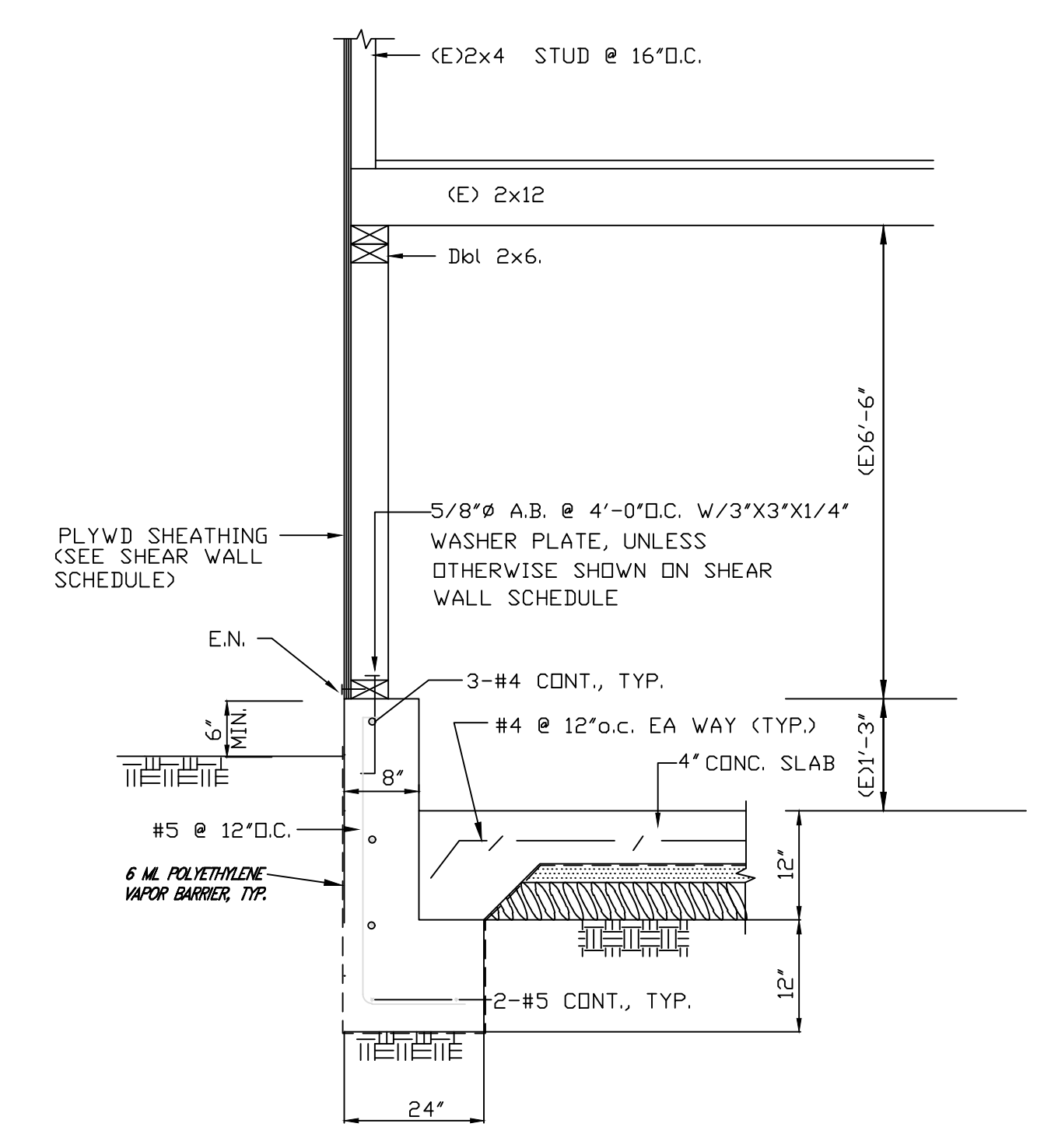
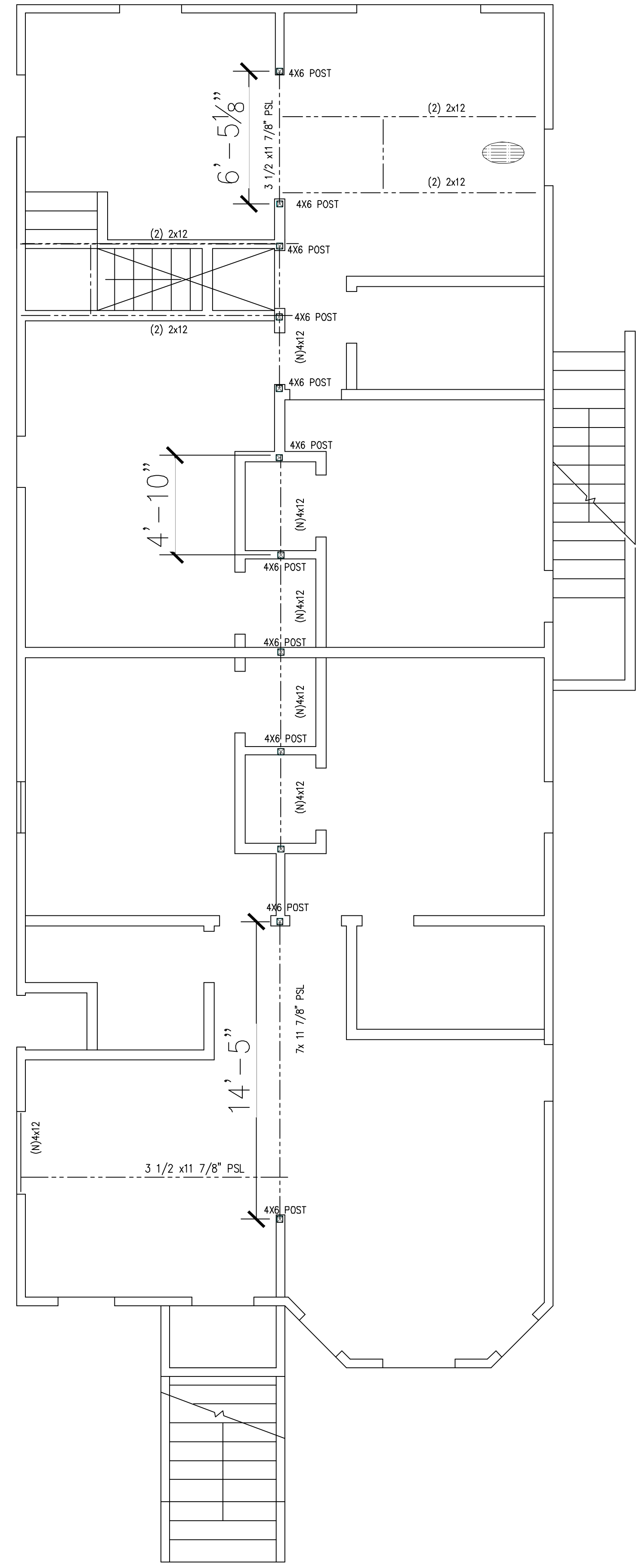


*Henry Wan*

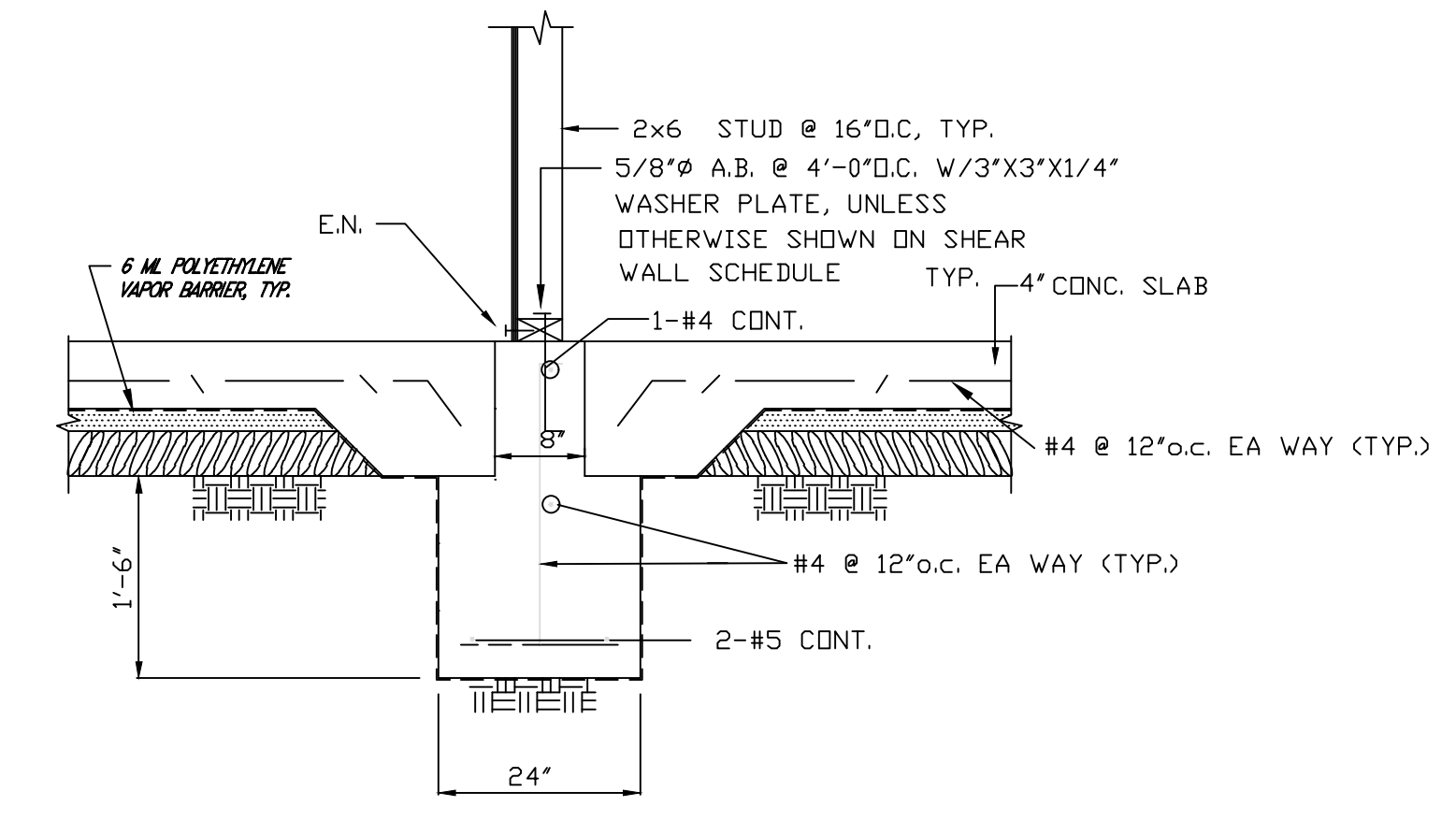




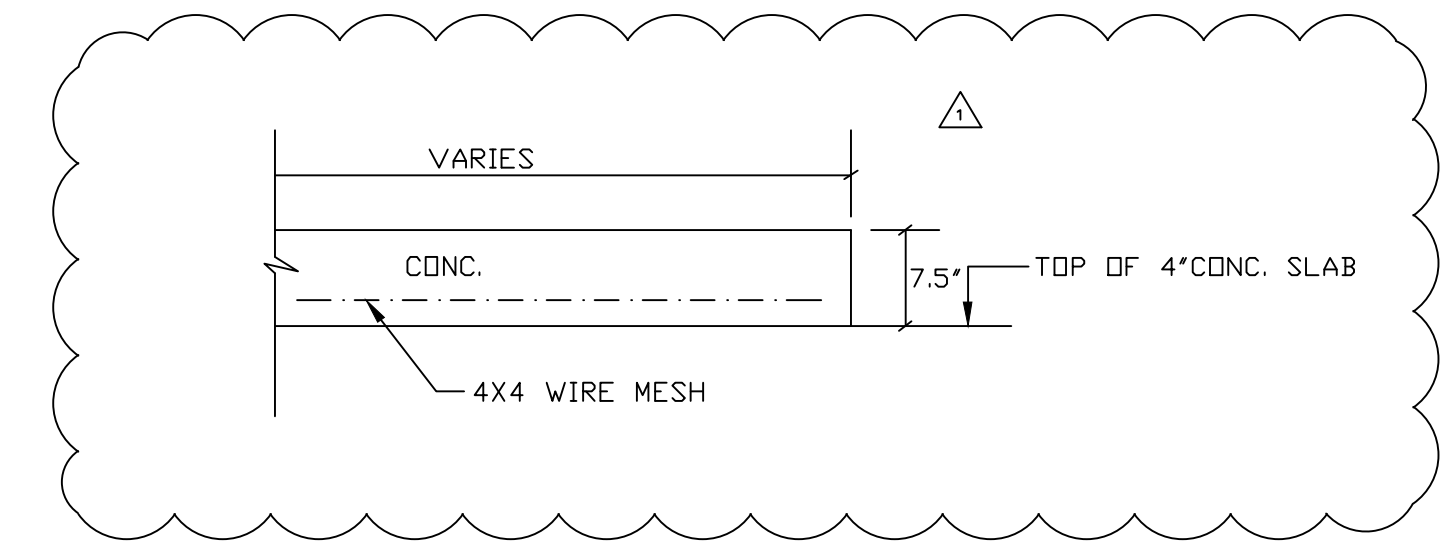
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL 'A'  
SCALE: N.T.S.

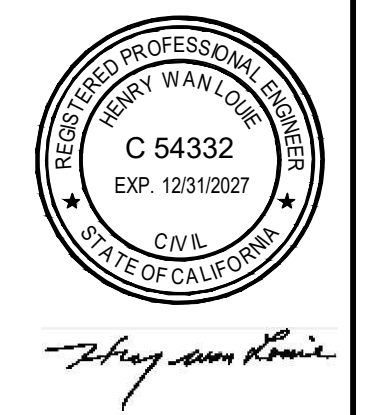


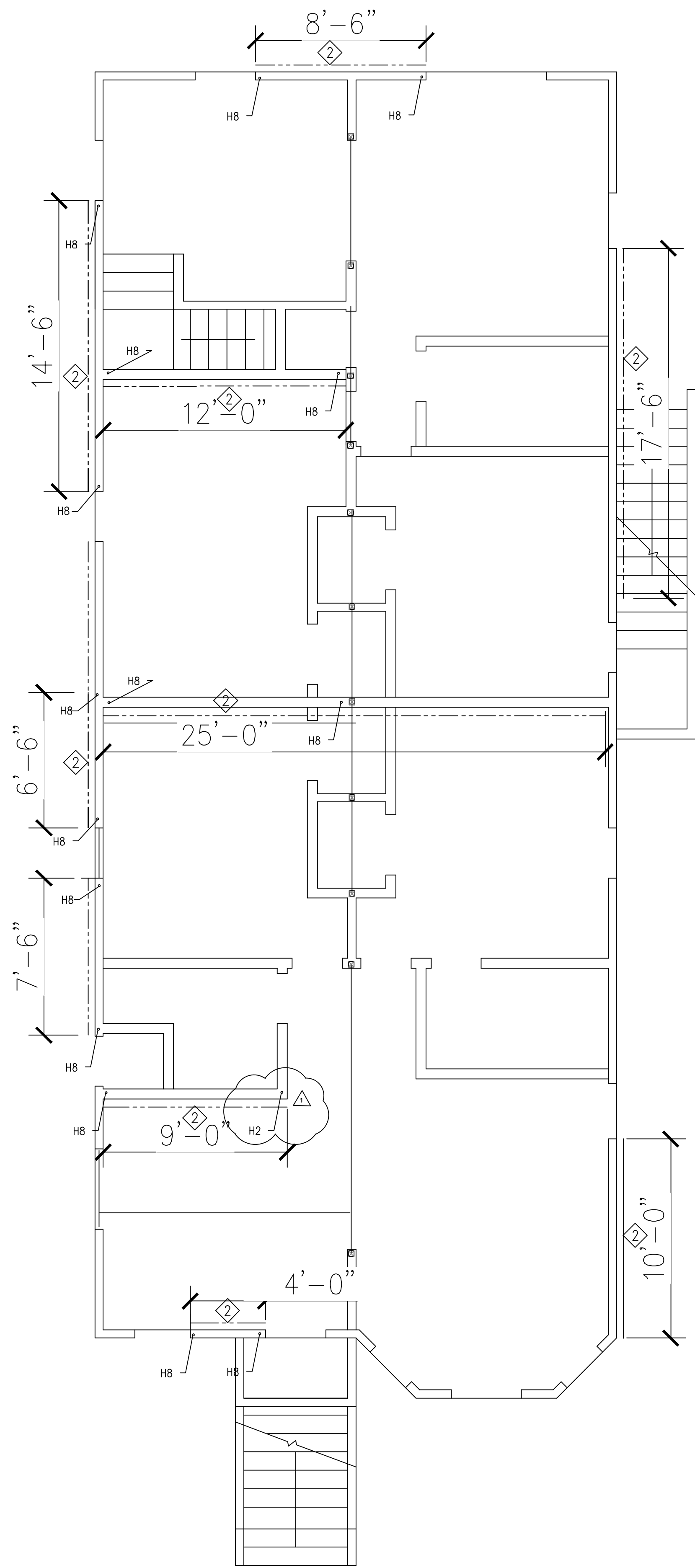
FOUNDATION DETAIL 'B'  
SCALE: N.T.S.



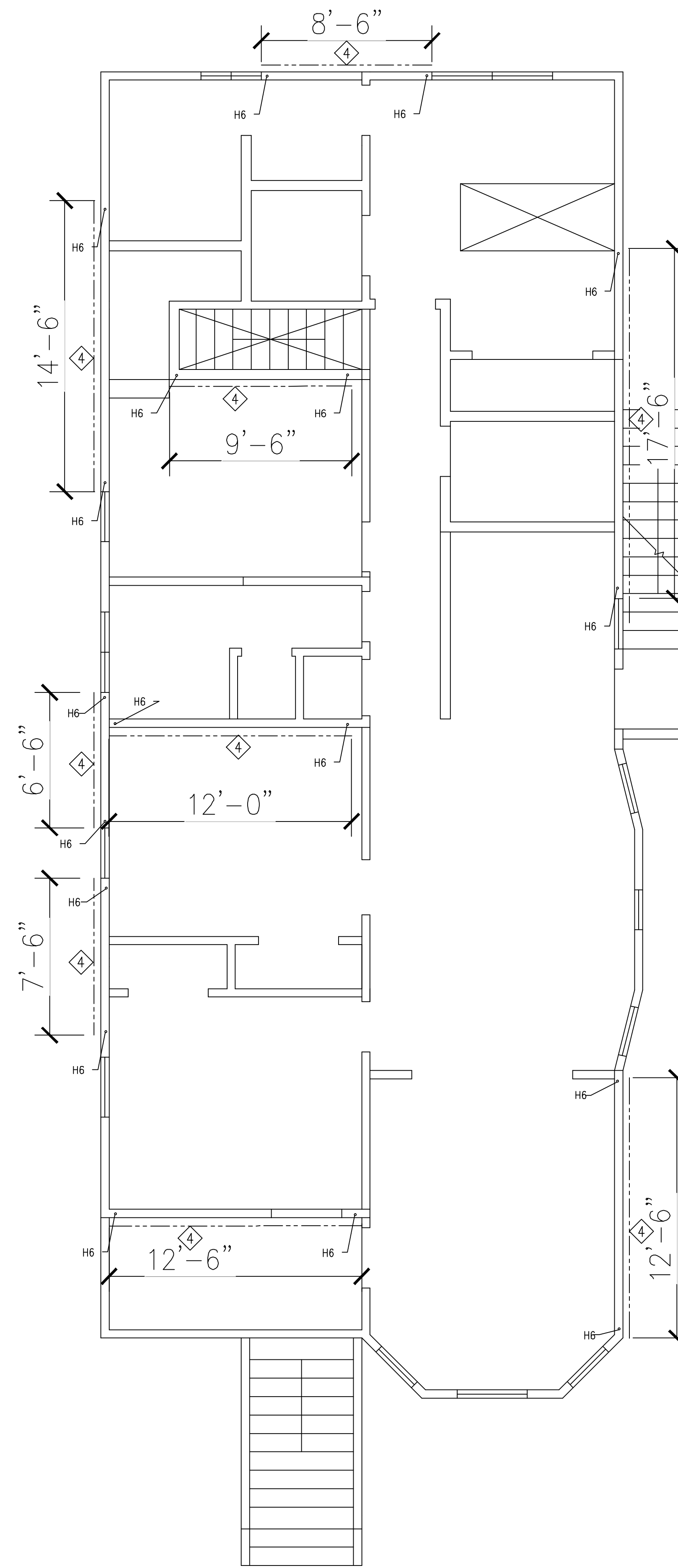
CONCRETE STEPS, DETAIL 'C'  
SCALE: N.T.S.

FOUNDATION PLAN AND FRAMING PLAN (MAIN HOUSE)		RESIDENTIAL UNITS ALTERATIONS		TOTAL SHEETS: 5-2-7	
HI, CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (925) 289-1888		2121 ENCINAL AVENUE ALAMEDA, CA 94501		SCALE: AS NOTED	
DESIGNED BY: HWL	CHECKED BY: HWL	PROJECT NUMBER:	DATE: 12/14/2024	FILE NO.: 2024-815	
REV.	DATE	DESCRIPTION	BY		
10/9/25		Revised per comments	H.L.		





GROUND LEVEL (FIRST FLOOR)



SECOND LEVEL (SECOND FLOOR)

SHEAR WALL AND HOLDDOWN LAYOUT  
SCALE: 1/4"=1'-0"

HOLDDOWN SCHEDULE					
MARK (SEE PLAN)	SHEAR HARDWARE	MIN. POST SIZE	ANCHOR BOLT SIZE	EMBEDMENT DEPTH INTO (X) CONCRETE (SEE GENERAL NOTES FOR MIN. E. AND D)	CAPACITY
H2	HWD-592.5	4x	5/8" #	12"	3075 LBS.
H4	HWD-592.5	4x	5/8" #	NO	4565 LBS.
H8	HWD-592.5	4x	7/8" #	NO	6765 LBS.

- NOTE:
- WHERE ANCHOR BOLTS INSTALLED AT THE EXISTING FOUNDATION WALLS OR EXISTING FOOTINGS - SEE SHEARWALL SET-UP EPOXY ANCHOR SYSTEM.
  - FOR TESTING AND INSPECTION OF EPOXY ANCHOR IN EXISTING CONCRETE, SEE SPECIAL INSPECTION REQUIREMENTS.

2 HOLDDOWN SCHEDULE

SHEAR WALL SCHEDULE										
MARK (SEE PLAN)	PLYWOOD NAILING		SILL E BOLTING 3/4" ANCHOR BOLTS	SILL PLATE		JOINT STUD / BLOCKING	TRANSFER CLIP (ASB OR LTPS) TO JOIST OR BLOCKING (SEE 1/4" x 6" SPS SCHEDULE)		DESIGN CAPACITY (ASD) PLF	
	EDGE (E.N.)	FIELD (F.N.)		ON CONC.	ON WOOD		SPACING ALONG JOIST	NUMBER PER BLOCKING		
①	10d ①x①	10d ①x①	32" o.c.	3x	2x	2x	16" o.c.	1	④x o.c.	340
②	10d ①x①	10d ①x①	16" o.c.	3x	2x	3x	8" o.c.	2	④x o.c.	510
③	10d ①x①	10d ①x①	16" o.c.	3x	3x	3x	8" o.c.	2	④x o.c.	665

- 1 PLYWOOD SHEAR WALL SCHEDULE
- MIN. LENGTH (WIDTH) OF SHEAR WALL (FT)
- WOOD STRUCTURAL PANEL MARK (NAIL SPACING)
- SHEAR WALL NOTES:
- NAILS TO BE COMMON WIRE NAILS EXCEPT AS NOTED.
  - FOR TRANSFER NAILING: PREDRILL HOLES FOR NAILS WHERE NAILS TEND TO SPLIT WOOD.
  - SEE PLAN FOR TRANSFER CONTINUOUS STRAP AND ROOF/FLOOR DIAPHRAGM EDGE NAILING.
  - SEE GENERAL NOTES SHEET FOR PLYWOOD INFORMATION.
  - PROVIDE BLOCKING IN SHEAR WALL FOR DETAIL "ELEVATION - PLYWOOD SHEAR WALL".
  - STAGGER VERTICAL JOINTS IN PLYWOOD SHEETS WHERE SHEAR WALLS ARE SHEATHED ON BOTH SIDES.
  - USE 1/2" CDX PLYWOOD OR RATED OSB.

RESIDENTIAL UNITS ALTERATIONS  
2121 ENCINAL AVENUE  
ALAMEDA, CA 94501

HI CONSULTANTS  
137 VICTORY CIRCLE  
SAN FRANCISCO, CA 94152  
(415) 269-1888

DESIGNED BY: HWL  
CHECKED BY: HWL  
DATE: 12/31/2023

PROJECT NUMBER:  
DATE: 12/14/2024

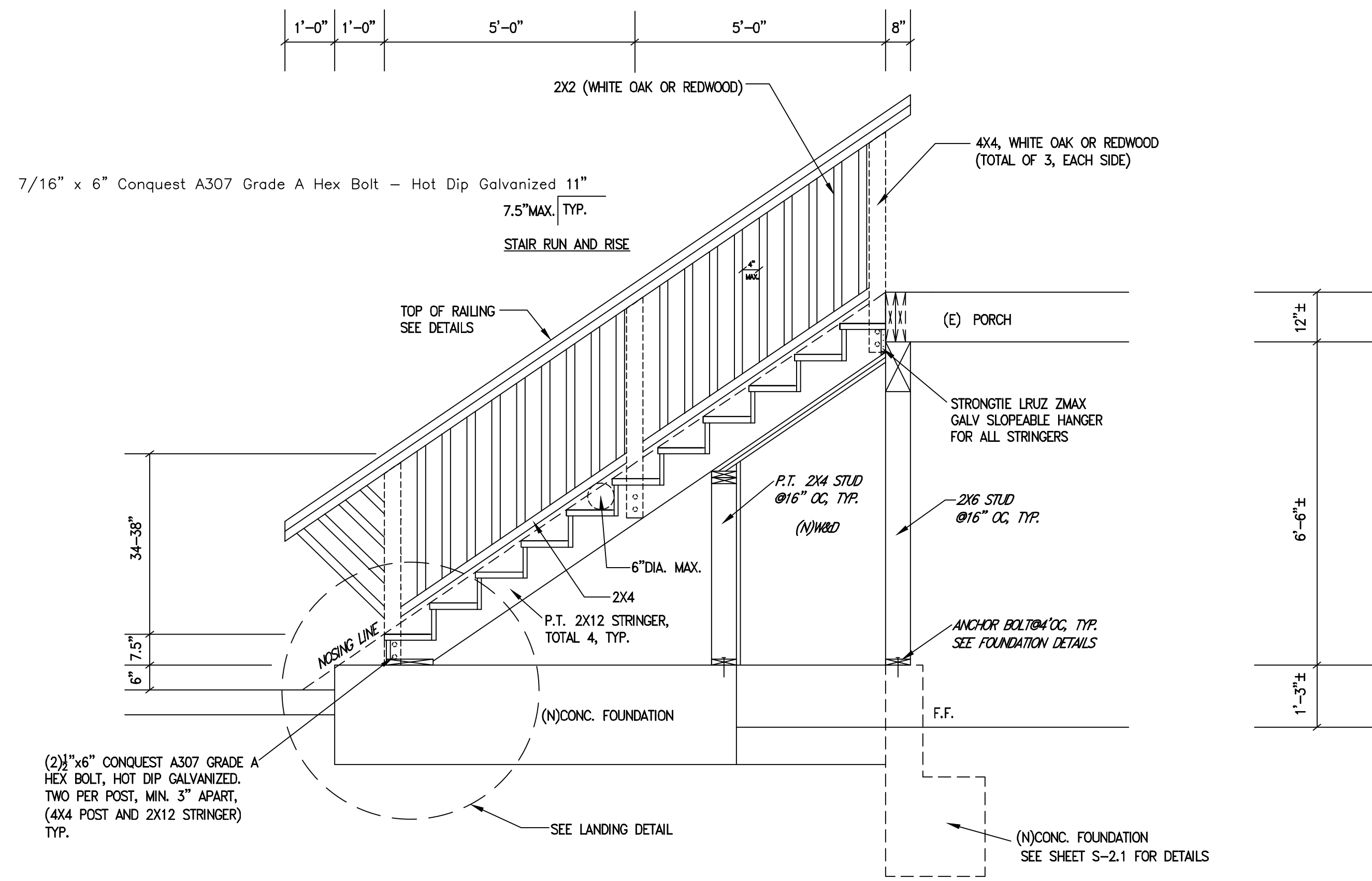
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TOTAL SHEETS: 5-2.2  
FILE NO.: 2024-815

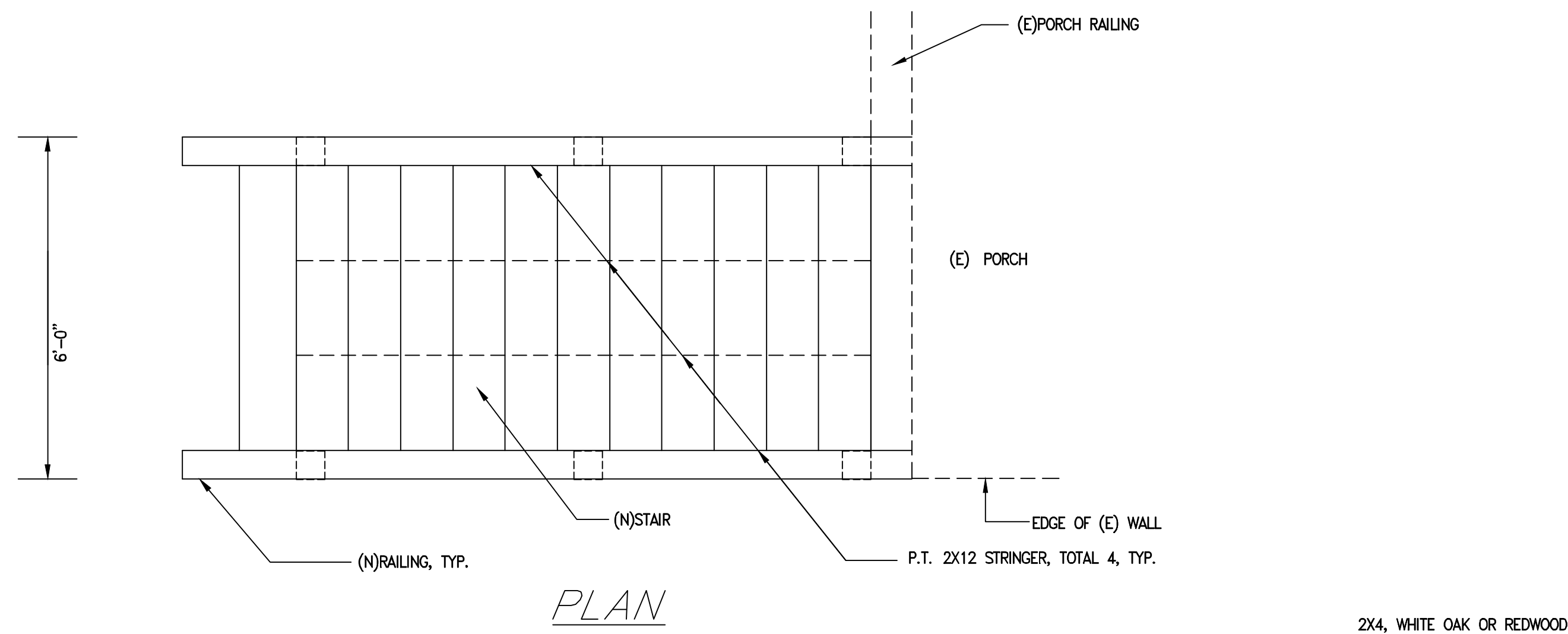
REV.	DATE	DESCRIPTION	BY	DATE
10/9/25		Revised per comments		



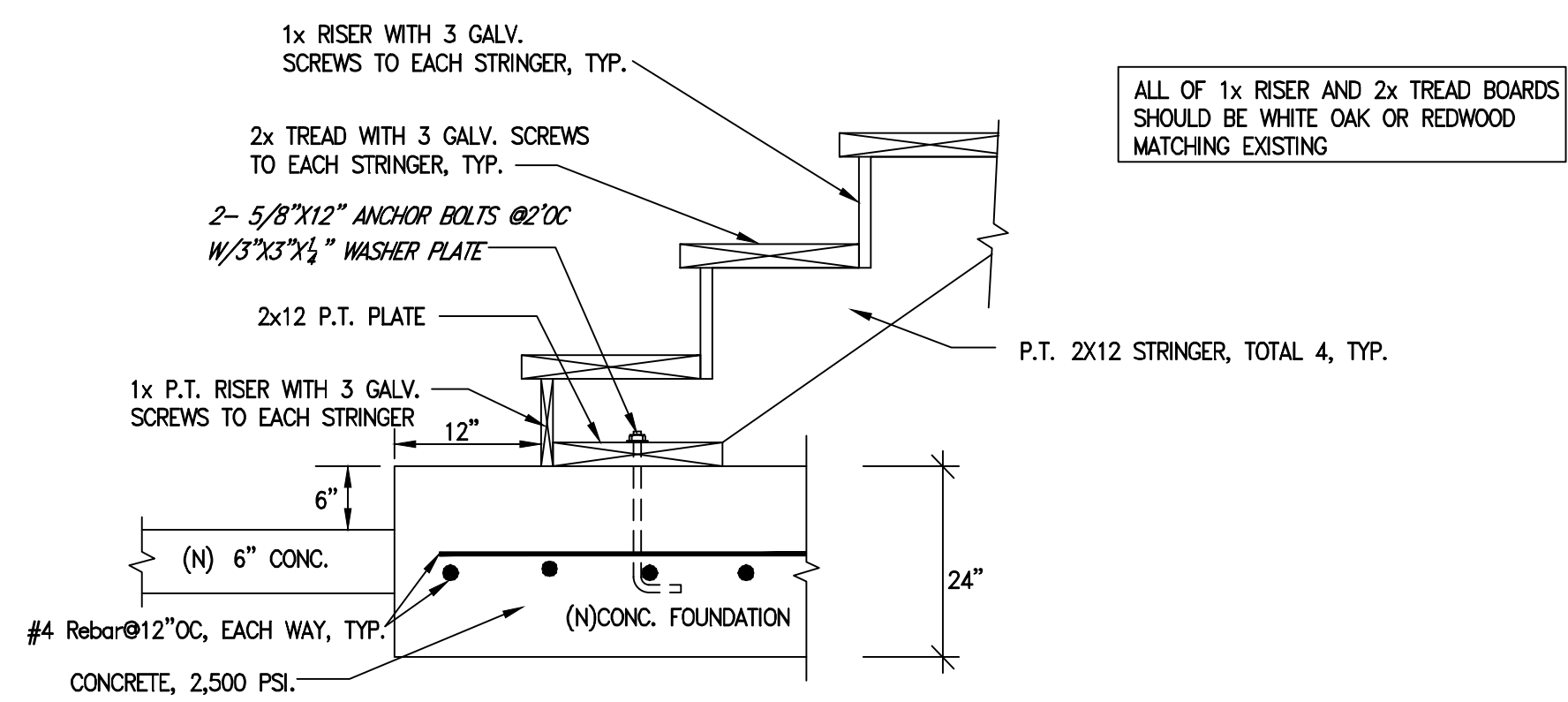
Henry Wan Leung



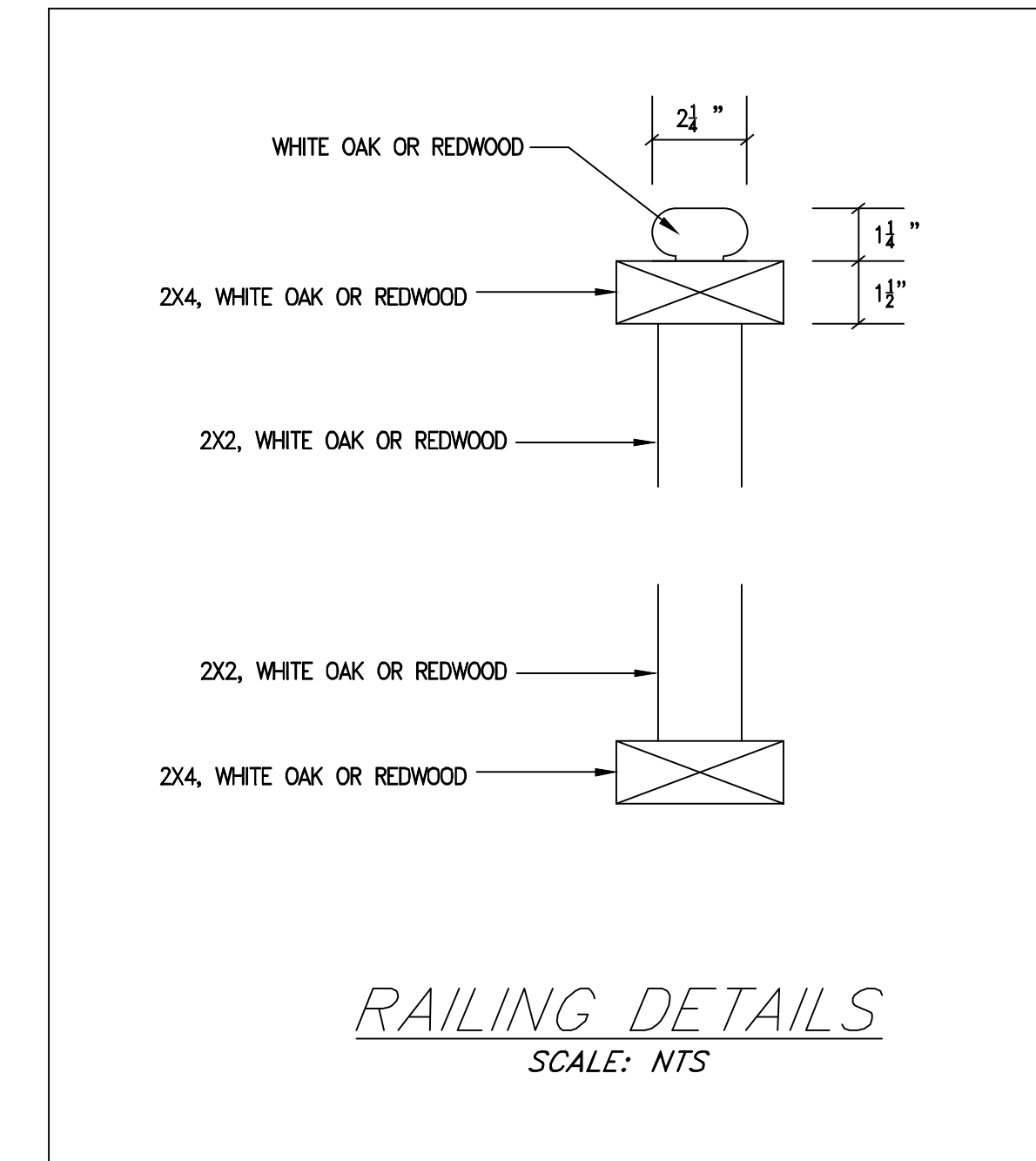
PROFILE (ENTRANCE)



ENTRANCE STAIR DETAILS  
SCALE: 1/2" = 1'



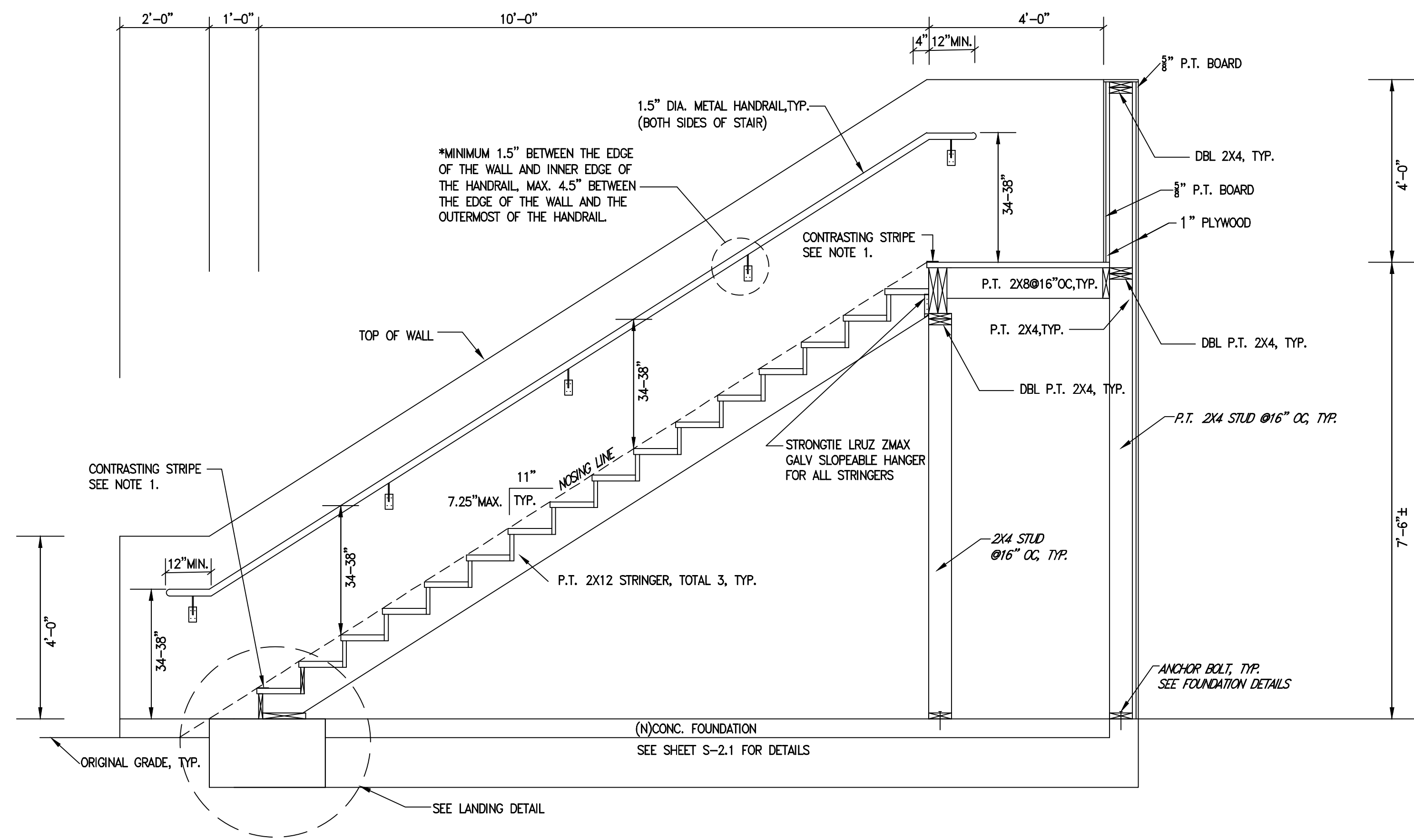
STAIR LANDING DETAILS  
SCALE: N.T.S.



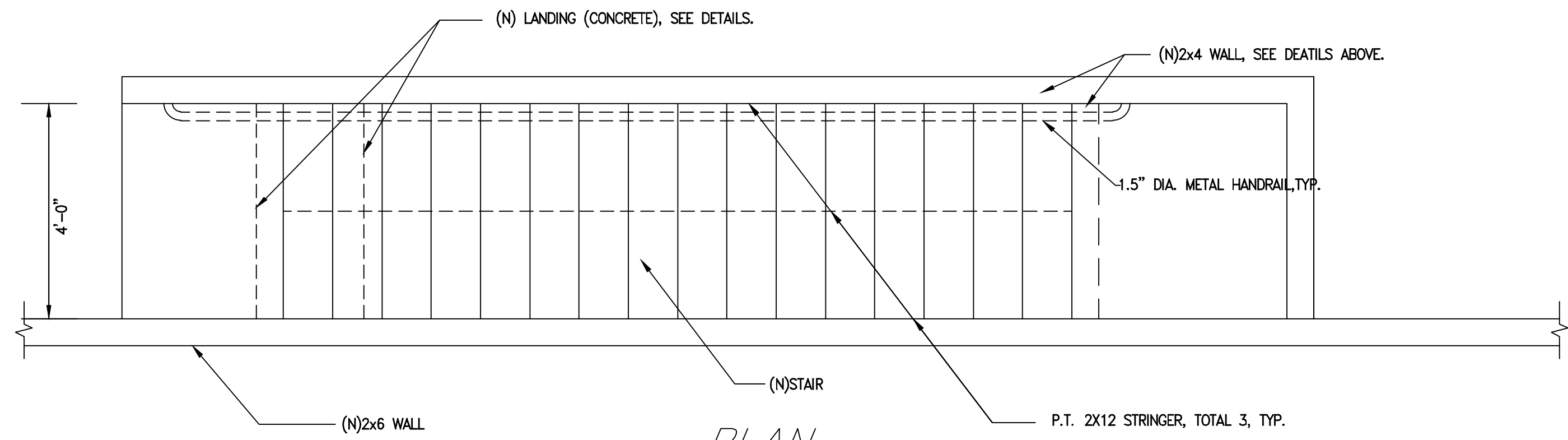
STAIR DETAILS (1 OF 2)		RESIDENTIAL UNITS ALTERATIONS		2121 ENCINAL AVENUE ALAMEDA, CA 94501		TOTAL SHEETS: 5-2,34 FILE NO.: 2024-815	
HI. CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (925) 289-1888		DESIGNED BY: HWL CHECKED BY: HWL DATE:		PROJECT NUMBER:		DATE: 10/15/2024	
REV.	DATE	DESCRIPTION	BY				



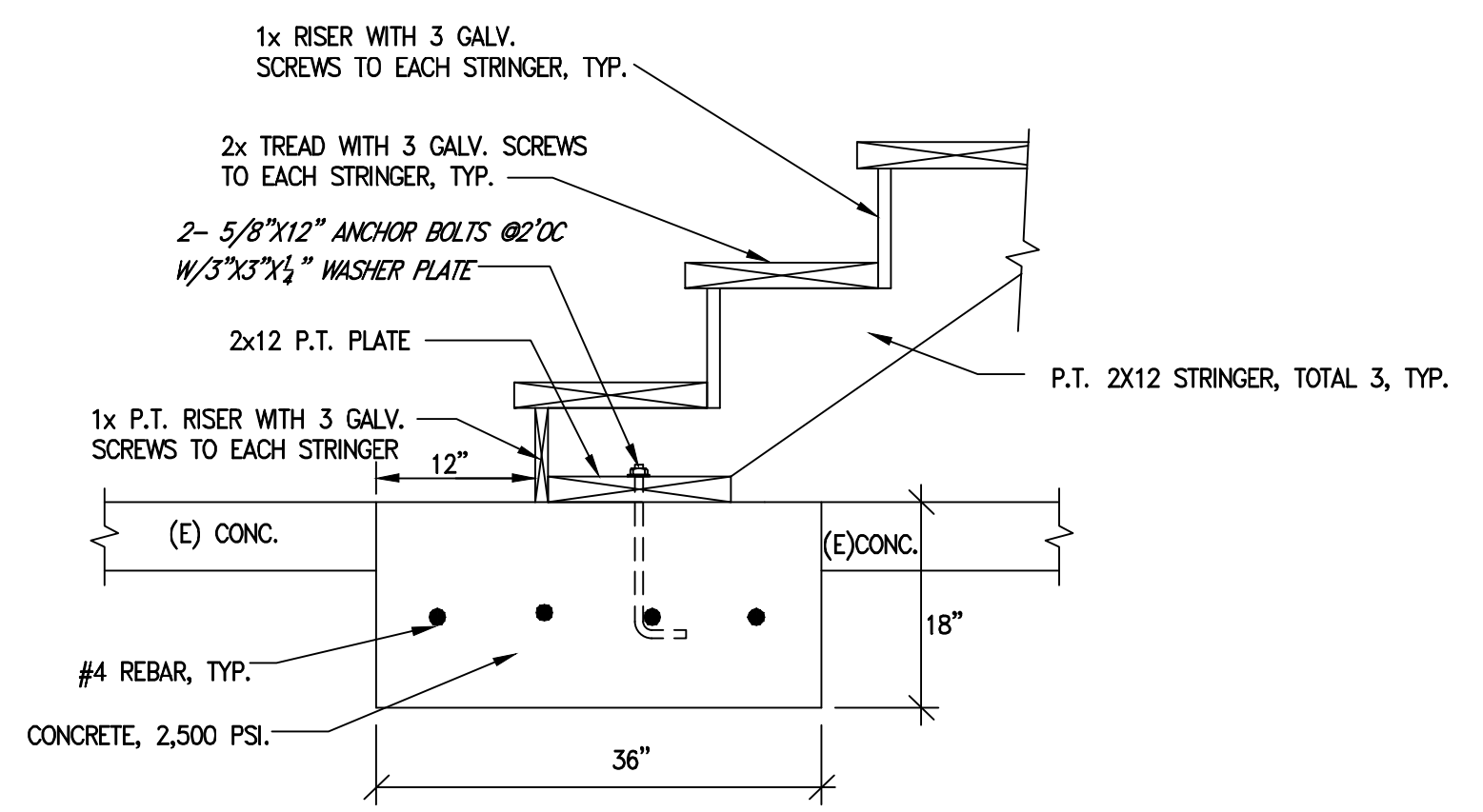
Henry Wan Leung



PROFILE (SIDE)



PLAN  
SIDE STAIR DETAILS  
SCALE: 1/2" = 1'



STAIR LANDING DETAILS  
SCALE: N.T.S.

- NOTES:
1. INSTALL A CONTRASTING STRIPE AT THE UPPER APPROACH AND LOWER TREAD. THE STRIPE SHOULD BE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH. STRIPE MATERIAL IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.

STAIR DETAILS (2 OF 2)		RESIDENTIAL UNITS ALTERATIONS		2121 ENCINAL AVENUE ALAMEDA, CA 94501		TOTAL SHEETS: 2024-815 FILE NO.: 2024-815		SHEET NO.: S-2,3B	
HI. CONSULTANTS 137 VICTORY CIRCLE SAN RAMON, CA 94582 (925) 289-1888		DESIGNED BY: HWL CHECKED BY: HWL DATE:		PROJECT NUMBER:		DATE: 10/15/2024		SCALE: AS NOTED	
REV.	DATE	DESCRIPTION	BY						



Henry Wan Leung